

BROWN'S ISLAND IMPROVEMENT PLAN



This **Brown’s Island Improvement Plan** undertaken by 3north, PLLC in 2019, is prepared exclusively for **Venture Richmond**
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ACKNOWLEDGMENTS AND PROJECT OVERVIEW

The design team acknowledges the tremendous amount of work that preceded this current planning effort. Hargreaves & Associates’ 2012 Richmond Riverfront Plan provided the design team with an enormous amount of information and data that has served as a benchmark for this current improvement plan. Many of the concepts from that plan are reflected in this document in some form.

The team at Venture Richmond provided considerable feedback and detailed logistical information about how they currently utilize Brown’s Island and also connected us to a variety of vendors, event organizers, and community groups that use Brown’s Island throughout the year. We are also very appreciative of the time and input given to this endeavor by various City of Richmond representatives, local business partners, non-profit leaders, and others from the community who were invited to participate in the IQ Charrette.

With the opening of T. Tyler Potterfield Memorial Bridge in 2016, and the ongoing success of events like the The Richmond Folk Festival, Brown’s Island is continuing to see more and more visitors taking advantage of its unique riverfront location.

The purpose of this improvement plan document is to highlight potential improvement projects for Brown’s Island - at a range of scales - that can be championed by Venture Richmond and others to help make Brown’s Island an even better event and festival venue while also fully realizing its potential as a thriving urban park that engages and appeals to all Richmonders.



Since Brown’s Island is a public park any improvement project in this plan would need additional design exploration and would be taken through the appropriate City of Richmond public review processes including review by the Urban Design Committee, Planning Commission, and others to ensure that the design reflects the City and community’s vision for Brown’s Island.

This booklet begins with the documentation of the Intangible Qualities Process that was the first step in creating the improvement plan. This process included existing condition documentation and historical research, a design charrette, and the formulation of broad guiding themes for Brown’s Island with some specific examples of how those themes could be applied in the design process.

Next, Brown’s Island was imagined into seven key areas highlighted in the Projects and Strategies chapter: Front Porch, The Clearing, The Point, Great Lawn, Back Porch, Haxall Gardens, and Sturgeon Cove. Each of these areas has a detailed spread in the document showing proposed projects, inspiration imagery, and precedent project information. Projects in each area range from small improvements and programming suggestions up to large and complex capital improvement projects.

An over-arching goal of the plan is to increase visitor engagement by creating multiple new unique destinations and experiences on the island while also improving accessibility, visitor comfort, and event logistics. These suggestions are outlined in more detail in the Programming chapter of this plan.

As the main vehicular way adjacent to Brown’s Island, Tredegar Street’s design is important to the function of the island. While specific design proposals for Tredegar St. are out of the scope of this study general suggestions for improving pedestrian connectivity and safety are included. The last chapter of this plan makes proposals for Tredegar Street.

The Appendix is currently home to ROM cost estimates for each area of the improvement plan and that show various projects broken down into small, medium, and large anticipated cost categories. These estimates are helpful to provide an overview of the range of proposed improvements and can guide prioritization.

VENTURE RICHMOND

We engage business and community leaders in partnering with the city to enhance the vitality of the community, particularly downtown, through economic development, marketing, promotion, advocacy and events.

Our services in downtown extend from marketing and programming to economic development and beautification. We engage daily with businesses, community leaders and consumers in an effort to increase activity throughout downtown while also producing world-class events and managing the riverfront.

3NORTH

Founded in 1999, 3north is an award-winning design practice with studios located in Richmond, Virginia and San Francisco, California. 3north is a Unified Design Studio. Our highly collaborative approach lies in the breadth of perspectives brought by its combined staff of architects, landscape architects, and interior designers, who work across disciplines toward an integrated project vision.

3north’s work is characterized by the richness and diversity that results when design solutions find genuine inspiration in client goals and the unique site and cultural context specific to each project.

EXECUTIVE SUMMARY

BROWN’S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



INTANGIBLE QUALITIES

IQ DEFINITION

IQ, an acronym for “Intangible Qualities,” refers to those inherent or intrinsic characteristics of a site, campus, building, or institution that have coalesced over time to form its unique “sense of place.” An IQ Study identifies, defines, and categorizes these characteristics, and uses them to create a conceptual and visual pattern book. The IQ Study, which serves as a project guidebook for the client and design teams, includes design concepts and guidelines that address all aspects of a project. This study addresses various aspects of architecture, landscape architecture, and interior design, the renovation of existing structures and the construction of new structures, and the development of comprehensive spaces and graphics.

The IQ Study ensures that, in the final product, all aspects of Brown’s Island Improvement Plan are characterized by consistent authenticity and characteristic integrity that have emanated from the IQ Process.

IQ OBJECTIVE

The specific objective of the IQ Process is to ensure that design and development decisions made by Venture Richmond, the City of Richmond, partners, and the design team all reflect genuine characteristics that originate from Brown’s Island. The overall objectives are to enhance Brown’s Island and it’s presence within the Richmond community, draw inspiration from the unique nature and history of the site, and celebrate the authentic spirit of Brown’s Island.

The ultimate goal is to create, a visioning plan through thoughtful design, a cohesive identity with a compelling integrity and unique character for Brown’s Island; such qualities will make this public space become the nexus between the urban and natural, a destination/departure point in the city, a dynamic, beautiful, and comfortable park for visitors, and finally a public space that is designed to house events.

IQ PROCESS

The IQ Study process discovers and identifies a myriad of interconnected elements and issues by studying the history, context, mission, and goals of a business and its property, and then translates them into visual forms and design concepts. Merged with historical and contextual studies are a clear identification of the company’s mission, goals ,and aspirations for renovation, growth, and development, and the consideration of optimum branding.

The IQ process consists of many types of studies: historical and contextual studies discover the characteristics of geographic location, site and landscape features, and context; a unique combination of these IQ Characteristics helps to create the story of Brown’s Island. In addition, the IQ Charrette brings together a number of expert practitioners, community members, staff, and friends of Brown’s Island to explore and discover in depth all aspects of current operations in order to envision its future. These people work together as members of small teams to help envision the future of Brown’s Island.

Participants represent a wide range of Brown’s Island stakeholders. A small number of people from key groups are included, ensuring that viewpoints from a broad range of groups and people are captured. Included are members of the Richmond Community, Venture Richmond, The Parks and Recreation Department of Richmond, the design team, partner non-profits, vendors, and subject matter experts.

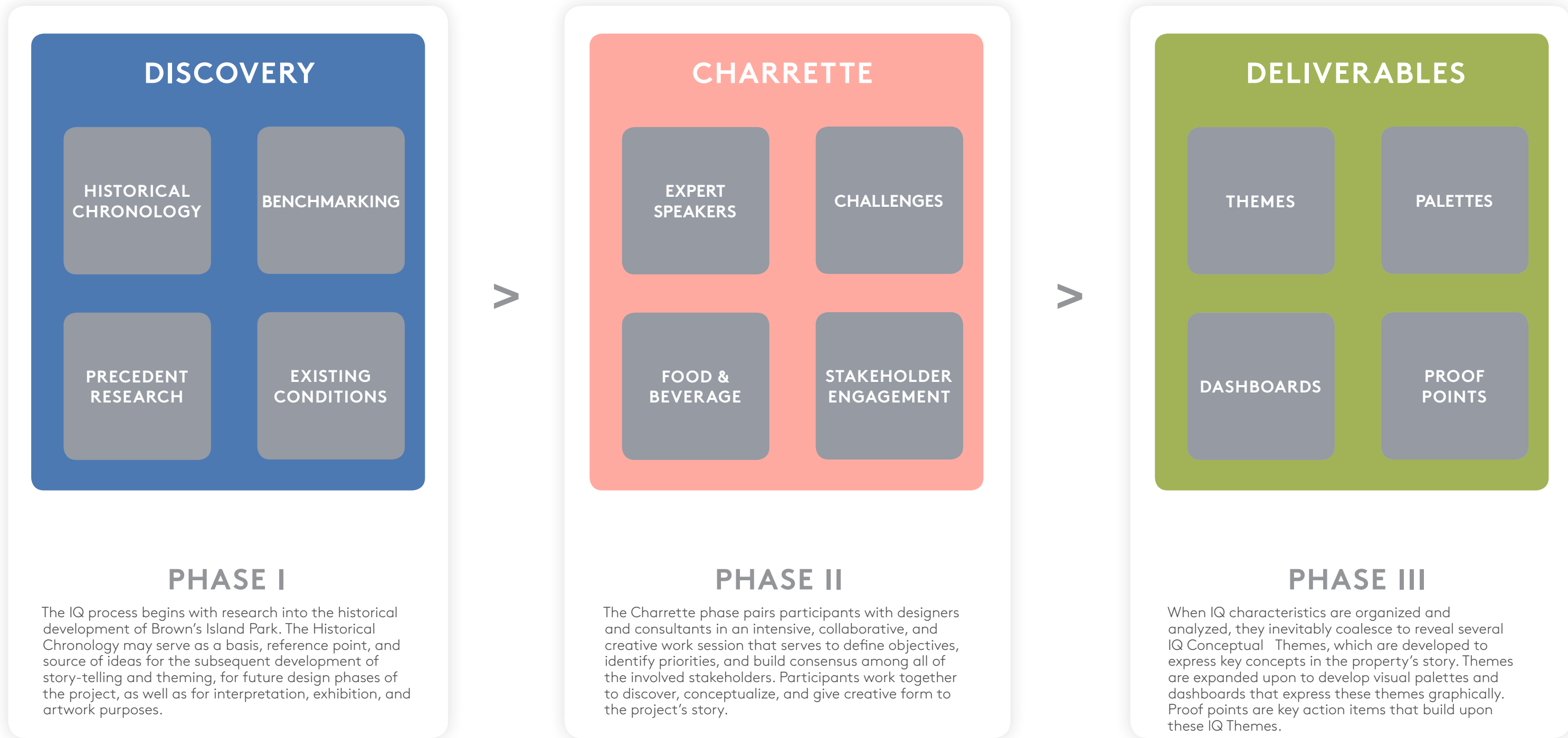
After studying and analyzing findings and characteristics (through research, discovery and charrette processes), the IQ Process identifies and defines three Conceptual Themes that characterize Brown’s Island. The themes create an underlying, consistent story line that serves to conceptually inform design decisions for a wide spectrum of project issues. As the design process progresses over time, the conceptual themes become interrelated and expressed physically in elements of design, graphics, and branding; as a result, they help to form and maintain a consistent, unified identity for Brown’s Island vision.

IQ PRODUCT

The end product of the IQ process is the creation of a pattern book of design elements unique to the property. Included are a Historical Chronology of Brown’s Island, a bubble chart of Brown’s Island IQ Characteristics, and three primary Conceptual Themes that form the basis of the design for Brown’s Island Improvement Plan.

Based on these studies, design palettes are then developed to help visualize the conceptual themes, which are translated into form and design elements. A Dashboard is created that serves as a visual collage to reflect the proposed character of the island. Design palettes are included for Experiences, Planting Character, and Landscape Features. Finally, Proof Points are created. IQ Proof Points are proposed, stand-out features of the vision for Brown’s Island.





INTANGIBLE QUALITIES PROCESS

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DISCOVERY

The Discovery phase has to do with discovering the 'genus-loci' of the place or site — contrasting that with the existing characteristics of the place. A thorough research is made starting from the historical approach to rescue hidden or overlooked pieces that might inform the design in further phases as well as spark inspiration. The discovery phase is also focused on collecting relevant pieces of information such as existing or future plans of it that are crucial for any design decision.

1817

The origins of Brown’s Island are mysterious. An 1809 map shows open water at this location, but by 1817, maps depict a recognizable Brown’s Island. The island probably began as a sandbar that was eventually shaped into an island by a combination of pilings, alluvial deposits, and fill. By 1835, the island was attached to Johnson’s Island and formed the south bank of the Haxall Canal.

1826

The island’s first settler was Elijah Brown, for whom it was named. He acquired the land in 1826. A later owner named Neilson tried to rename the island as Neilson’s Island, but it did not last.



Early map showing Neilson’s Island

1860-90's

During the American Civil War, the island was the home of the Confederate States Laboratory. The C.S. Laboratory produced ammunition, friction primers, percussion caps, and other ordinance for the Confederate war effort. On Friday, March 13, 1863, an explosion occurred in a section of the laboratory that killed forty-five individuals and left twenty-three others injured. Most of the killed and injured were young girls who were the labor force used on the island.



Confederate States Laboratory (white clapboard buildings under trees) on Brown’s Island

In 1894, Richmond Union Passenger Railway constructed a coal plant, which was quickly followed by Virginia Power’s hydroelectric plant in 1899. The coal plant then shut down before reopening as Dixie Paper Mill in 1916, which was bought by Albemarle Paper Company just three years later. In 1936, Virginia Power opened its own coal plant, joining its existing hydroelectric plant and continuing this industrial trend.



Brown’s Island on the left - Tredegar on the right

1904

Brown’s Island Dam was created. The construction of a power plant at the eastern end of the Haxall Canal starting in 1904 necessitated the construction of this dam to assure a steady and regulated flow to the plant’s steam turbines. The sluice gates of the dam could be adjusted to regulate the flow into the canal.



Section of the railway viaduct along the Lowline

The Chesapeake and Ohio Railroad constructed one of the longest elevated railways in country, if not the world. Extending almost two miles from Fulton Yards in the east to Oregon Hill in the west, this unimpeded and flood-proof rail section formed a rail by-pass around Downtown Richmond.



Brown’s Island Dam (where T. Tyler Potterfield Memorial Bridge is today)

1987

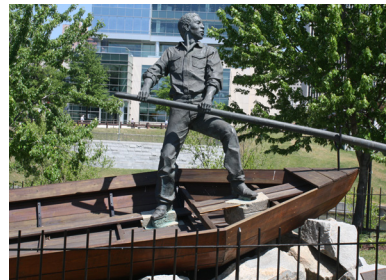
Browns Island became part of the city’s James River Parks System when it was traded to the City by NewMarket in exchange for the adjacent Gamble’s Hill property.



Gamble’s Hill historical postcard

1993

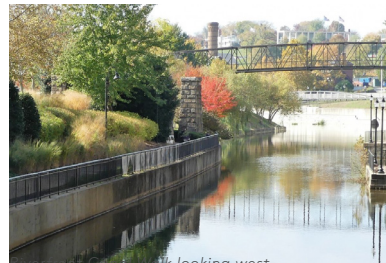
The Headman Statue was erected on the island. The statue was created by sculptor Paul DiPasquale and depicts an African American boatman sculling a James River Batteau boat.



The Headman statue

1999

Formal dedication of the 1.25-mile Riverfront Canal Walk and the christening of the canal boats.



Riverfront Canal Walk looking west



Riverfront Canal Walk interpretive signage

2011

The Halsey Bridge, designed by Commonwealth Architects, was completed in 2011 creating an accessible 5th Street entrance to Brown’s Island. The bridge is named after Brenton Halsey in honor of his two decades of leadership in the restoration of the Richmond Riverfront. The Mill sculpture, by Richmond sculptor Bradley Robinson, was commissioned by Venture Richmond and installed at the Brown’s Island end of the Halsey Bridge. In 2018 it was relocated to a new location on the island to open up space for the planned Emancipation Monument.



Halsey pedestrian bridge



The Mill sculpture

2012

The Richmond Riverfront Masterplan completed by Hargreaves. It included various design suggestions for Brown’s Island: ‘A fundamental objective of the Riverfront Plan is to work around the barrier of the CSX viaduct to open up Brown’s Island more directly to the James River. A number of additional reconfigurations along the perimeter of the island transform Brown’s Island from a seasonal event space to a daily destination.’



Riverfront Masterplan concept for Brown’s Island

2015

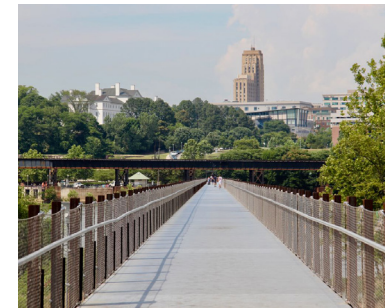
Ideas Study Phase for BridgePark was completed. BridgePark is a proposed linear public park that would span the James River and connect the riverfront experience to the City Center, on both sides of the James. The park would transform 9th Street (including a portion of the Manchester Bridge over the beautiful James River) into a world-class destination for biking, walking, art, education, events, and community engagement. BridgePark envisions new connections to Brown’s Island.



BridgePark master plan

2016

The T. Tyler Potterfield Memorial Bridge opens. The long anticipated physical link between Brown’s Island and Manchester, this pedestrian and cycling pathway sits atop a former hydroelectric dam, some 20 feet above the river. Named for the late City of Richmond senior planner T. Tyler Potterfield, the bridge provides unequalled river vistas, panoramic views of the downtown skyline, along with sounds that belie the extraordinarily close relationship of the bridge to the roaring river. The wheelchair accessible bridge is open to pedestrians and cyclists 24 hours a day.



T. Tyler Potterfield Memorial Bridge

2020

As part of its commemoration of the 150th Anniversary of the Emancipation Proclamation and abolition of slavery in the United States, the Virginia Martin Luther King, Jr. Memorial Commission will construct the Emancipation Proclamation and Freedom Monument on Brown’s Island.

The monument, designed by Thomas Jay Warren of Oregon, will feature a 12-foot bronze statue representing newly freed slaves. Dedicated to the contributions of African American Virginians in the centuries-long fight for emancipation and freedom, the monument also will highlight notable African American Virginians who have made significant contributions to the emancipation and freedom of formerly enslaved persons or descendants.

The monument will be located at the foot of the Halsey Bridge (where the Mill sculpture was previously located).



Bronze figures from the Emancipation Proclamation and Freedom Monument

DISCOVERY HISTORICAL CHRONOLOGY



DISCOVERY EXISTING SITE PHOTOS

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UTILITY PLAN

Exisiting plan of utility infrastructure in Brown's Island. Provided by Venture Richmond from Timmons Group.

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 Boulevard Boulevard, Suite 1000, Richmond, VA 23215
TEL 804.200.6500 FAX 804.560.1015 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

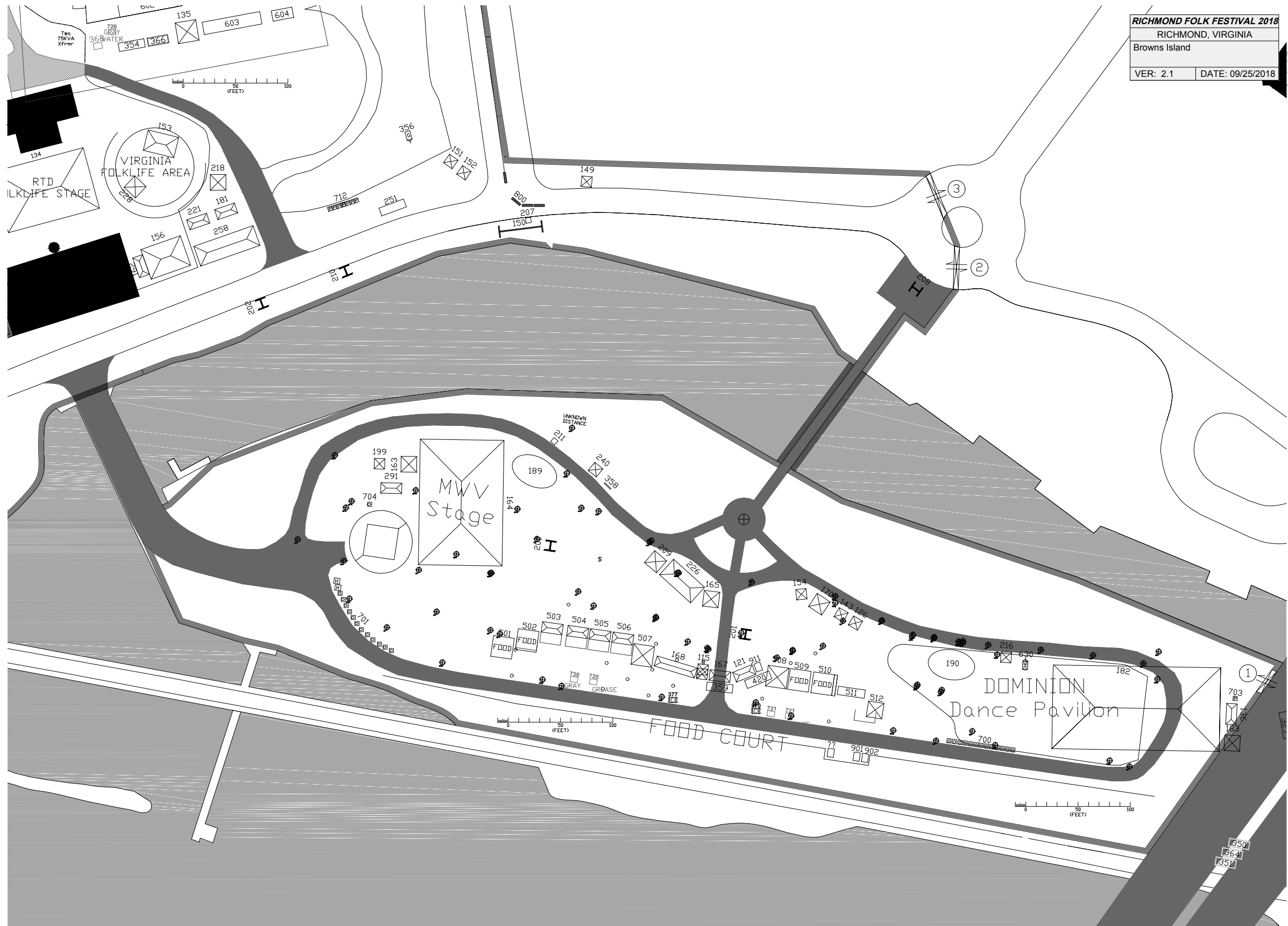
TIMMONS GROUP

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DISCOVERY EXISTING CONDITIONS

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EVENT LAYOUTS

Folk Festival Layout

*Drawing provided by Venture Richmond

DISCOVERY EXISTING CONDITIONS

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



How frequently do you use Brown's Island for events?	How does Brown's Island function as an event space, relative to other venues you have used in the past?	When choosing an event space, what are the three most important things you consider?			What physical improvements to Brown's Island would make your event more enjoyable to your audience?	What physical improvements to Brown's Island would make your event operations run smoother for you as the event organizer?	What is your favorite event venue in Virginia (not Brown's Island), and why?
		#1	#2	#3			
Once per year	About the same. Parking is a challenge.	How it fits the particular event	public knowledge of venue & flexibility of use	parking	Permanent restrooms, water connections like those at Festival Park, better parking options and/or more clearly conveyed to public, better staging	Better Staging, Office space/talent rooms, more room for food vendors other than the mulch, water connections and electric in other areas than just mulch (see festival park note) More shade areas	For infrastructure for shows-Classic Amphitheater. For grass space & parking - RIR field areas. For quiriness - Mayo, stone barn at RIR. Most of my festivals tend to be street festivals not utilizing venues as Richmond loves a street festival even with all the logistic challenges that presents.
			Work vehicle access	Production facilities	Stage access sound system	Rear stage dock height access, permanent production and dressing room buildings	Town Point Park, Norfolk. Easy access, plenty of work vehicle space. Lots of production electricity. Dressing rooms and production offices.
Other (please specify) More than once per year	About the same	stage access	electrical power	rigging points	permanent covered stage with 32' PA rigging points	Rear stage dock height access, permanent production and dressing room buildings	Town Point Park, Norfolk, VA I plan mostly educational meetings, study clubs, lectures, so Virginia Museum of History & Culture and the VMFA are great. For our big annual party, I've used the Tuckahoe Plantation as much as Browns and other than being a good distance from downtown, it's a lovely venue wth lots of greenspace.
	About the same A little better. It's a versatile "blank canvas" space in an exciting spot in Richmond with downtown as a backdrop and the River and canal for added ambiance.						
Less than once per year		location	private event capibilities	parking	would like to see permanent restrooms on both sides of the island and more shade, although I love the versatility of the space and how you can "tent" almost anywhere. Trees and "landscaping"would add to the attractiveness of the venue.	It would be nice if there were more cart paths/walkways for unloading. Also, since there are a number of access points, it can be hard to control where guests can enter and leave, requiring more RMC staff- might be something to look at for private events.	
More than once per year	Much better	Capacity	Accessibility (time frames for set ups and tear down)	Cost	Shaded areas, Water fountains (with ability to fill water bottles) I think play space for children, permanent restrooms, a water fountain (including for dogs) and permanent bike parking would be really amazing for just "everyday use" on the Island. As for the types of events we host, those particular items are nice amenities but because of the size and scope of our events, are not as relevant. Being able to have access and better sight lines of the river would be an awesome improvement. I think the access in and around the Island could be better (i.e. how people are getting down to it and on), making a patrons experience more enjoyable. Some shaded areas would be a nice addition as long as it didn't hinder usable event space/vendor set-up needs. Adding more benches and seating, especially near the riverside would be nice for patrons. Permanent restrooms, cool water feature, native Virginia plants, education around the "green" or "environmental" features of the island. Feature JR wildlife Restrooms, parking, benches along the water, picnic tables with shade Certainly water fountains and restrooms would be nice for smaller events. Shade would be a nice addition. Access to the river and the canal for paddling and watching paddlers. Allowing people to get near the river is a big opportunity. Improving a whitewater play feature immediately adjacent to Brown's Island would activate the river as a whitewater play spot on most weekends and evenings.	Having 2 vehicle access points or at least the ability to drive fully around the Island without getting stuck would immensely improve load-in and load-out. It often takes forever to get off of the Island during breakdown because you are waiting to be able to access your equipment or booth space with a vehicle. Working outlets on the light posts would be helpful. I don't know enough about appropriate wattage, amps, etc. but we are often bringing in generators still to power some of our needs (i.e. heaters for our medical tent at the Marathon). A more permanent water source would also be helpful.	But it is Browns Island. There is not even a close second. But if I had to choose I would say Maymont
More than once per year	A little better	Parking in and around the venue/Access	Adequate size	Cost			
Once per year More than once per year	Much better	unique setting	infrastructure	parking		Storage, will call/box office better parking, wifi, vehicle access from another point under bridge to backstage	don't have one
	A little better	Amenities	Ease of access	cost			John Paul Jones Arena, indoor venue with new amenities We really like working with Chesterfield County and the use of Mines Park. While there are management issues, the overwhelming positive attitude about our event and the fact that we are wanted comes through in all of our conversations. It is just plain nice to be wanted and not seen as just another event that someone has to deal with on a weekend.
More than once per year	Much better	Location Access to things like parking, power, equipment	Cost	Ease of use with land manager		A paved pull off area at the mid-island area would help with load in and load out. Better traffic flow on and off the Potterfield Bridge. The Brown's Island part is narrow and has slight turn that leads to major bottle necks.	
Once per year	A little better		Easy permitting process	Price	All that you just listed above would be awesome!!!	Larger path ways on the river side and in the middle of the island allowing for two way traffic	N/A, they all have good qualities and bad
Once per year	Much better	Size	Ability to sell alcohol built in features - ie. bathrooms,	Aesthetics and accessibility	Permanent restrooms, running water,	More room for food trucks, running water, more electrical access, bigger and better stage	
More than once per year	Much better	what parts of the city it shows off	water, green space	parking	better view of the river by removing some of the brush/vines growing between the island and the river	more access to power boxes and water, ability to drive on the grass, mulch beds that aren't round	actually Brown's island is my favorite!
More than once per year	A little better	Walkability	Scenic Views	Access to amenities (food, drink, bathroom)	Better views of the river, restrooms, improvements under Manchester Bridge (just an eyesore currently).	Ability to drive golf cart on grass, fortified parking areas for vehicles (mulchbed gets soggy). I appreciate the flexibility that Browns Island offers, however, it might be helpful to build in more power and water infrastructure and designate an area for pop-up tents/vendors.	Honestly, I don't know...not a ton of insight on this.
Operate an adjacent site. I attend multiple events per year.		Cost	Plug & Play Infrastructure	Venue Popularity & Reputation	RESTROOMS Play space for children		Wolf Trap. I like the relaxed, park-like atmosphere. The Waterside District because it has access to clean restrooms, there are restaurants inside where people can get drinks or cool down if it's hot. The Walk route is flat and even so it is safe for people living with ALS. It's by the water which is ascetically pleasing.
Once per year	Much better	Whether it's power wheel chair accessible	Price - if it fits in the budget	Location	permanent restrooms.		

VENDOR FEEDBACK

1. Most vendors use Brown’s Island more than once per year on average.
2. ‘Brown’s Island’ is considered to function better than other venue event spaces for its location and landscape features –like the river and the downtown streetscape.
3. The three most important considerations for a vendor to choose an event space include the location of the place, the accessibility for both attendees and logistics, and cost of renting the space.

4. Some of the physical improvements to make Brown's Island a more enjoyable place included: permanent restrooms with water fountains, creation of shaded areas, considering the river as part of the essence of the space to interact and view, and spaces for children to play.

5. For event organizers, some physical improvements include: service road access different from main ones, access to “back stage”, more infrastructure to support vendor activities, defined traffic flows to control access of attendees and a permanent stage.

6. Most of the people agree that Brown’s Island is the best venue for their events because of location and natural features, with Town Point Park in Norfolk coming in second and some others that have access to amenities like the Waterside District and Jon Paul Jones Arena.

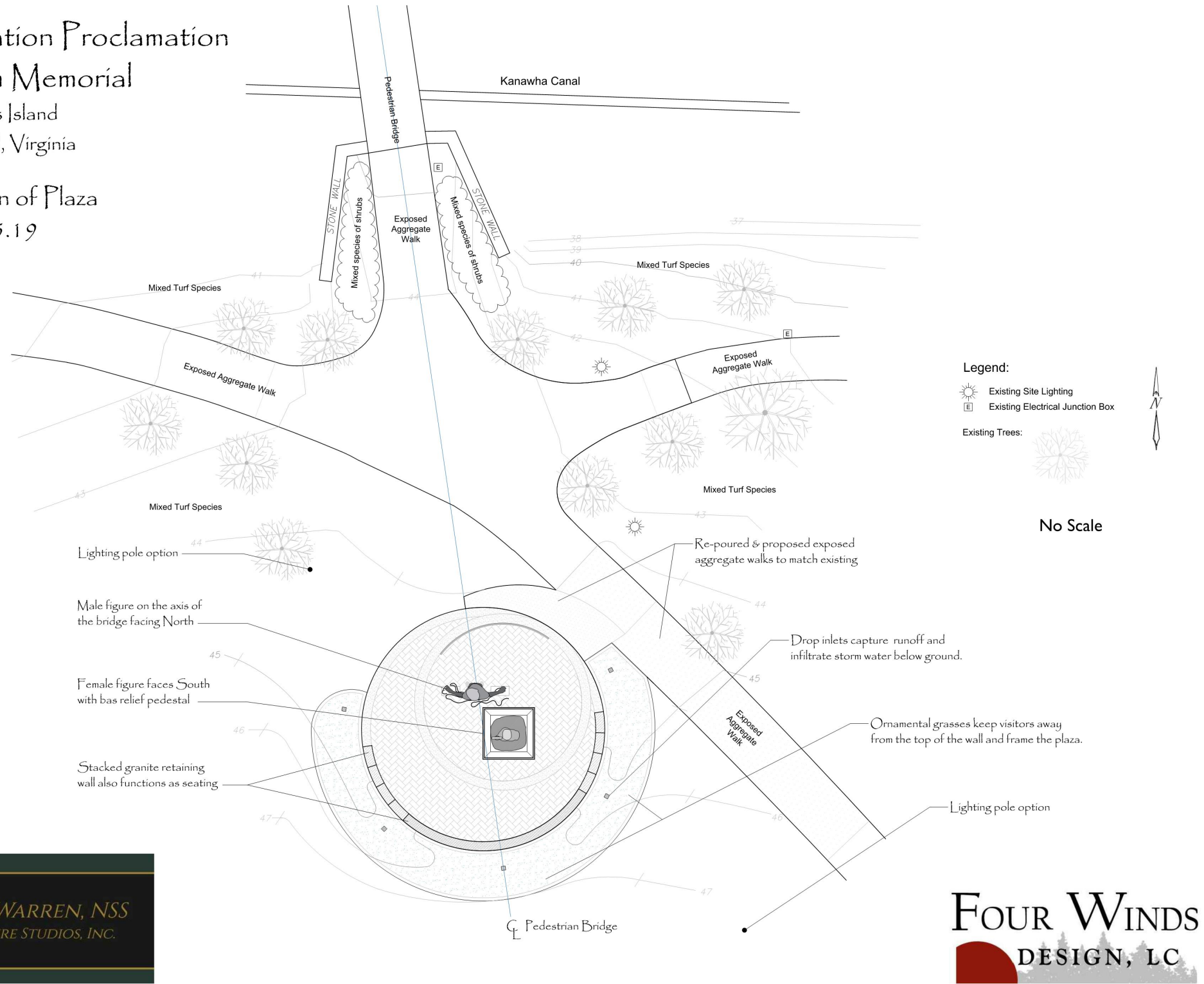
*Survey Information provided by Venture Richmond.

Virginia Emancipation Proclamation & Freedom Memorial

Browns Island
Richmond, Virginia

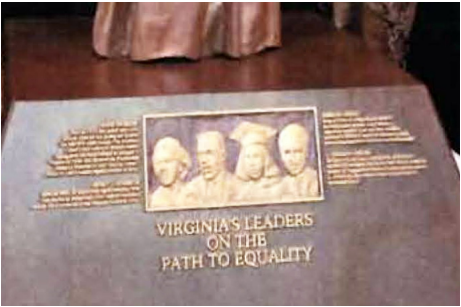
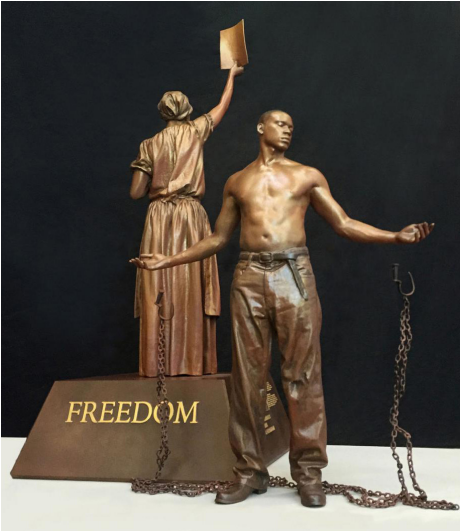
Relocation of Plaza
4.15.19

THOMAS JAY WARREN, NSS
WARREN SCULPTURE STUDIOS, INC.



EMANCIPATION PROCLAMATION AND FREEDOM MONUMENT LAYOUT

*Drawing provided by Four Winds
Design



Bronze figures from the Emancipation
Proclamation and Freedom Monument

DISCOVERY EXISTING CONDITIONS

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CHARRETTE

The Charrette phase is a collection of activities called challenges that are performed by the participants to the event. These participants are comprised of stakeholders from different areas relevant to the project or topic being discussed. During this phase varied and contrasting points of view are put up for discussion — through the challenges — that offer and encourage common ground in the different decision making points. The major goal of this is provide a productive space for discussion as well as the distillation of the core essences of a project or topic.

BROWN’S ISLAND

Brown’s Island was created when the Haxall Canal was extended west to the Tredegar Iron Works. The island is named after its first settler Elijah Brown, who acquired the land in 1826.

Encircled by the waterways that provided power and transportation to the City’s electric streetcars, flour mills, foundries, and paper companies, Brown’s Island has been at the center of Richmond’s industrial activities for more than 200 years. During the Civil War it was the site of a horrific industrial accident when 45 people were killed and dozens wounded in an explosion at the Confederate munitions factory. Remains of Civil War-era bridges can be seen from its shores, and the CSX Railroad still runs along its southern edge.

In the 1980’s Ethyl Corporation traded Brown’s Island (which they owned) to the City of Richmond for the adjacent Gamble’s Hill property. Brown’s Island then became part of the James River Park System and today serves as a vibrant public waterfront park and celebrated event venue. It is managed by Venture Richmond in partnership with the City.

BROWN’S ISLAND
BY THE NUMBERS

- 1 Number of helipads on Brown’s Island
- 4.5 Average reviewer rating on Yelp (stars)
- 5 Pedestrian bridges that access Brown’s Island
- 5.81 Size of Brown’s Island tax parcel (acres)
- 10 African American Virginians to be included on the Emancipation Proclamation and Freedom Monument
- 16 Height of ‘The Mill’ sculpture by Bradley Robinson (feet)
- 35 Years of Friday Cheers concert series
- 118 Age of the CSX Railroad Viaduct
- 600 Employees at the Confederate States Laboratory
- 1,600 Length of the T. Tyler Potterfield Dam Walk (ft)
- 4,200 Pounds of carbon stored by the lawn areas per year
- 4,500 Cost to rent Brown’s Island for one day (\$)
- 8,540 Estimated number of canine visitors per year
- 1,230,000 T. Tyler Potterfield Memorial Bridge crossings to date
- 6,319,000 City of Richmond assessed land value (\$)

WHAT IS IQ?

Intangible Qualities (IQ) is a visioning and stakeholder engagement process that uncovers and integrates the underlying characteristics of a particular place. The IQ Charrette will bring together expert speakers, a diverse group of stakeholders and riverfront advisors, Venture Richmond, City of Richmond representatives, and the design team to explore and discover all aspects of Brown’s Island in order to build consensus and envision its future.

As part of this project we will also be developing an improvement plan that will help Venture Richmond as they continue to program and manage events and activities on Brown’s Island. Our hope is that this IQ Charrette and Improvement Plan can be a first step in a broader engagement process.



CHARRETTE INTRODUCTION

BROWN’S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

PARTICIPANTS

- John Bates

Sharon Bassard

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Max Hepp-Buchanan

Nathan Burrell

Morgan Carey

Bill Comer

Alex Dahm

Ted Elmore

Chris Frelke

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Renee Gaines

Erika Gay

John Gregory

Spencer Grice

Colleen Hall

Matt Harris
- Bruce Hazelgrove

Jay Hugo

Stephen Lecky

Diane Linderman

Jon Lugbill

Lucy Meade

Mark Merhige

Mark Olinger

Lisa Sims

Megan Silva Schultz

Richard Souter

Bob Steidel

Bill Street

Bob Tierney

Carol Walls

Mavis Wynn

Melissa Ziglar

GUEST SPEAKER



GABE KLEIN
ENTREPRENEUR,
AUTHOR, INVESTOR

Gabe Klein is the former DOT director under Mayor Rahm Emanuel’s administration in Chicago and former Director of the District DOT under Mayor Adrian M. Fenty. Before working in local government, Klein worked at a few startups, including Zipcar. In 2015 he joined Fontinalis Partners as a Special Venture Partner on their new fund.

Klein continues to advise a number of technology/transportation startups including Bridj. He is on the board of NACTO and Streetsblog. Gabe is the author of ‘Start-Up City, Inspiring Private and Public Entrepreneurship, Getting Projects Done, and Having Fun’.

AGENDA

THURSDAY APRIL 18, 2019

New Market Pavilion
330 South 4th Street
Richmond, VA 23219

- 8:45 am

Coffee & Snacks
- 9:00

Welcome & Project Overview
- 9:10

Agenda Overview & 3North IQ
- 9:20

Challenge 01: 10 Second Stories
- 9:30

Speaker: Gabe Klein - Riverfront Inspiration
- 10:00

Challenge 02: Essences
- 10:20

Challenge 03: FourSquare
- 10:50

Challenge 04: Zoom
- 11:50

Challenge 05: Overcommitment
- 12:00 pm

Lunch and Challenge 05
- 12:45

Conclusion/Discussion
- 1:00

Adjourn



CHARRETTE EVENT AGENDA

BROWN’S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



ESSENCES

This is a word association challenge where teams are asked to describe the project with one word descriptions. The overall list is created and then cut to three main words, then cut again down to one word. That word is used to describe the ‘essence’ of the project. The lists are presented back to the entire group.

This exercise starts to show developing themes and challenges to connect words with design characteristics of spaces and experiences.

INSTRUCTIONS

What is the essence of Brown’s Island?

What words and phrases best express the over-arching meaning of Brown’s Island that should be carried forward?

Make a list of as many “essences” as you can.

You have 10 minutes.
Now, circle the 3 essences that best express the character of Brown’s Island for your group.

You have 5 minutes.
Finally, circle the 1 essence that best expresses the character of Brown’s Island for your group.

You have 2 minutes.

TOP 15

1. BUCOLIC

2. CONNECTION

3. CULTURAL

4. BRIDGING

5. WATERFRONT

6. INTERACTIVE
7. EVERLASTING

8. GATEWAY

9. DIVERSE

10. VIBRANT

11. FRONT DOOR

12. FLEXIBLE HUB

13. HISTORY

14. CONNECTIVITY

15. DESTINATION

TABLE 1
“CULTURAL NODE”

- BUCOLIC

SERENE

ACCESS

PUBLIC GARDEN

BEAUTIFUL

ENERGETIC

CONNECTION

FUN

OASIS

VERDANT

FRESH

PICNIC

HOME

SCENIC
- CULTURAL CENTER NODE
- EVENT SPACE

BREAKROOM

GYM

NODE

TOES IN THE WATER?

ANIMAL SANCTUARY

MUSICAL

REFUGE

VERSATILE

HIDDEN GEM

PLAYFUL

FAMILY ROOM

DESTINATION

HISTORIC

ACTIVE

TABLE 2
“INTERACTIVE WATERFRONT VENUE”

- FUN

FAMILY

BEER

EVENTS

ACTIVE

NATURAL

WELCOMING

TOGETHER

HUB

HISTORIC

RIVER

COMMUNITY

PASSIVE

TEMPORALITY
- BRIDGING
- BACKDROP

CROSSROADS

OPEN

RAPIDS (WORLD CLASS)
- WATERFRONT VENUE
- INTERACTIVE

HEALTH

ART

TABLE 3
“EVERLASTING DIVERSE GATEWAY”

- FLEXIBLE

VIBRANT

HISTORIC

PEDESTRIAN

EVERLASTING

FRIENDLY

PEACEFUL

GATEWAY

FUN

ICONIC

HAUNTING

GREEN

NATURAL

ENERGETIC

PRISTINE

BRIDGE

MAJESTIC

CONNECTIVE

MUSICAL/SOUND
- DIVERSE
- URBAN

CULTURAL

FESTIVE

ACCESSIBLE

ALIVE

ECOLOGICAL

MOVEMENT

POWERFUL

INDUSTRIAL

TABLE 4
“WELCOMING FRONT PORCH”

- CENTERPIECE

LIVELY-ACTIVE

VIBRANT

PLAYGROUND

WELCOMING

FAMILY ATMOSPHERE

RIVER ACCESS

ADVENTUROUS

GATHERING PLACE
- FRONT DOOR (VS. 195 IS THE BACKDOOR)
- JEWEL

FRESH

GREEN

OPEN/SPACES

SCENIC

CULTURAL

INSTAGRAM-WORTHY

PICTURESQUE

SAFE

USABLE

MOBILITY

ACCESSIBLE

SERIOUSNESS

IMPORTANCE

AUTHENTIC

CONNECTED

RESILIENT

SUSTAINABLE
- FLEXIBLE HUB
- GAME-CHANGING

TABLE 5
“VIEW FINDER”

- PEACEFUL

ACTIVE

FUN

COMMUNITY

GREEN

REFLECTIVE

URBAN SPACE

VIBRANT
- HISTORY
- CONNECTIVITY

EXPANSIVE

OPEN/INVITING

ACCESSIBLE
- DESTINATION
- WALKABLE

CONTEMPLATION

NATURAL

RECREATION

PLEASURABLE

VIEWS/VANTAGE POINTS

SKYLINE

SERENE

EXPERIENCE
- *PLACEMENT SOMETIMES LIMITS
- RIVER VIEW

RIVER VIEWING

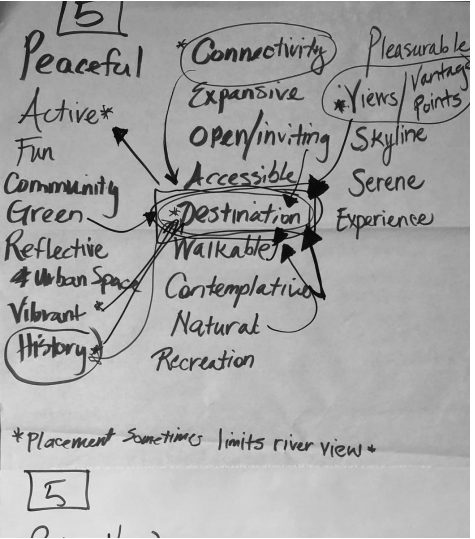
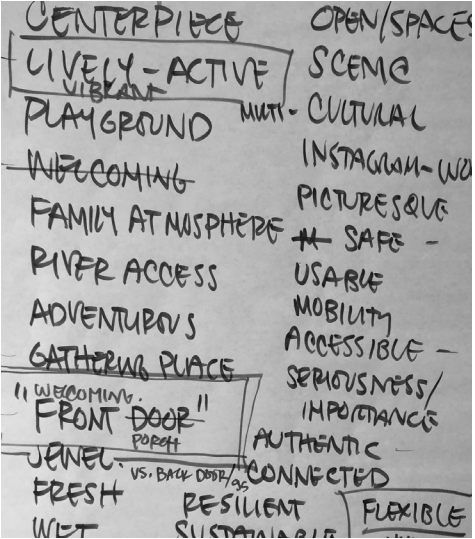
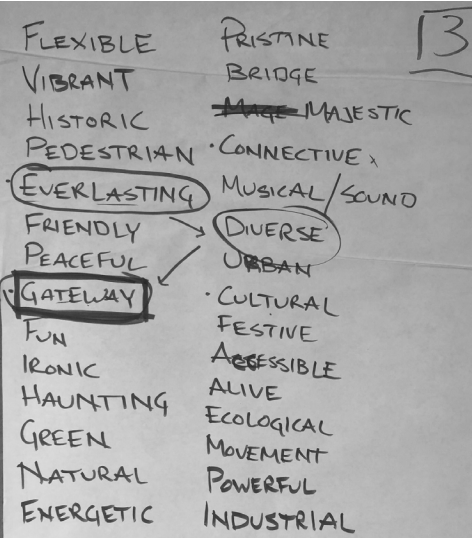
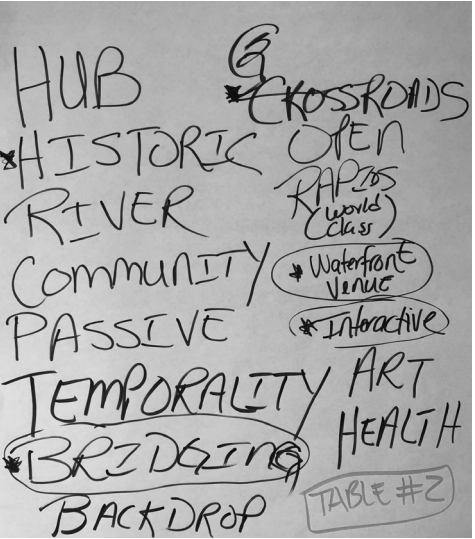
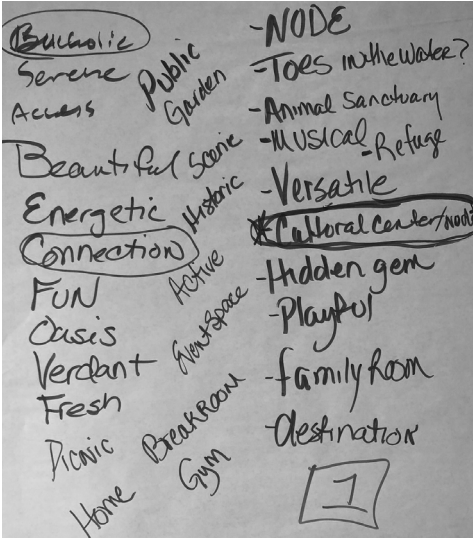
HISTORIC INTERPRETATION

ACCESS

VIEW FINDER

EXHIBIT

NATURE VIEWING



CHARRETTE RESULTS

BROWN’S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

FOURSQUARE
[GO OUTSIDE AND PLAY]

This challenge moves out of images of materials into images of spaces, environments, and experiences (beginning to identify programming/amenities) selected to show an overall feel or vibe. Each team is asked to choose four images (out of a stack) and create a collage that expresses their ideas for different aspects of the project.

These four squares and the conversations around them start to express ideas for how people want spaces to feel. It also begins to touch on how people physically experience spaces.

INSTRUCTIONS

What is the right design direction for a space that is truly 'of' Brown's Island?

What should stay and what should go, while keeping true to your authentic self?

Working with your group, review the provided images decks to select four images that best represent the essence of Brown's Island.

Also, identify one image that you collectively feel absolutely DOES NOT represent Brown's Island (save it for discussion later).

Each team will create one four-square board including all 4 areas:

- Material
- New Feature
- Landscape Character
- Experience



TABLE 1

- Activate the park through the use of interactive art, lights, food, hammocks and temporary pop up vendors.
- Have more spaces for kids to play or activities that engage both children and adults.
- More opportunities to bring people closer to the river adding new features such as a permanent structure for kayaks.



TABLE 2

- Connect to nature and enhance the view of the River softening the edges as you get closer to the water (Terracing).
- Need of support services such as restrooms.
- More of a public space than an event venue. The city as a backdrop.



TABLE 3

- Outdoor classroom, current events, observation towers, idea of a place where you can look out.
- Make it a destination: Add color, comfortable and fun furniture (hammocks), food vendors, formalize kayaking activity, restroom facilities.



TABLE 4

- New way to access the river by changing the elevation.
- Adding trees for shade.
- New features: bathrooms, play spaces, retail, canoe/kayaking, and art stuff for day/night.
- More deconstructed look, less urban.



TABLE 5

- More active interaction with the River (views, water access, recreation) in the waterfront edge.
- Idea of interactive art feature, big, iconic, changes each season.
- Casual lawn space highlighted by trees but also open spaces.

CHARRETTE RESULTS

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

ZOOM
[TAKE A SPIN AROUND]

There are many versions of ZOOM but the general concept is that you have some large scale diagrammatic plans (of building and/or site) and a series of pre-printed chips that are labeled with program elements/features/furnishings (typically these are too scale to show spatial relationships but can also just be markers for an idea). Teams are asked to think about how the project should work –where should things go –what are important adjacencies – etc. They tape down the chips in their desired locations. Ribbons can be used to show connections and routes of travel. Sometimes they get very creative and color with markers and collage with leftover images from other activities – creativity is encouraged.

INSTRUCTIONS

Let’s take a closer look at the spaces of Brown’s Island. Where should different elements and experiences be located?

What new features should be included and where?

Think about adjacencies, functions, visual effects.

Zoom in - take a spin around. Imagine yourself there.

Using the programming buttons provided, made decisions on the best locations for various spaces, as it relates to privacy and adjacency.

Tape the buttons down when a team consensus has been reached. Feel free to elaborate with notes and ideas.



TABLE 1

From left to right:
Naturalistic/wild water activity rentals and river access. Permeable, stepped edge. Services and retail areas before 5th St bridge, close to the Canal. Dividing the park into two: explorative highly programmed and flexible event space/big lawn. Grove areas buffer programmed area to the west. Riverfront access for viewing or touching under CSX. Floating sculptures.

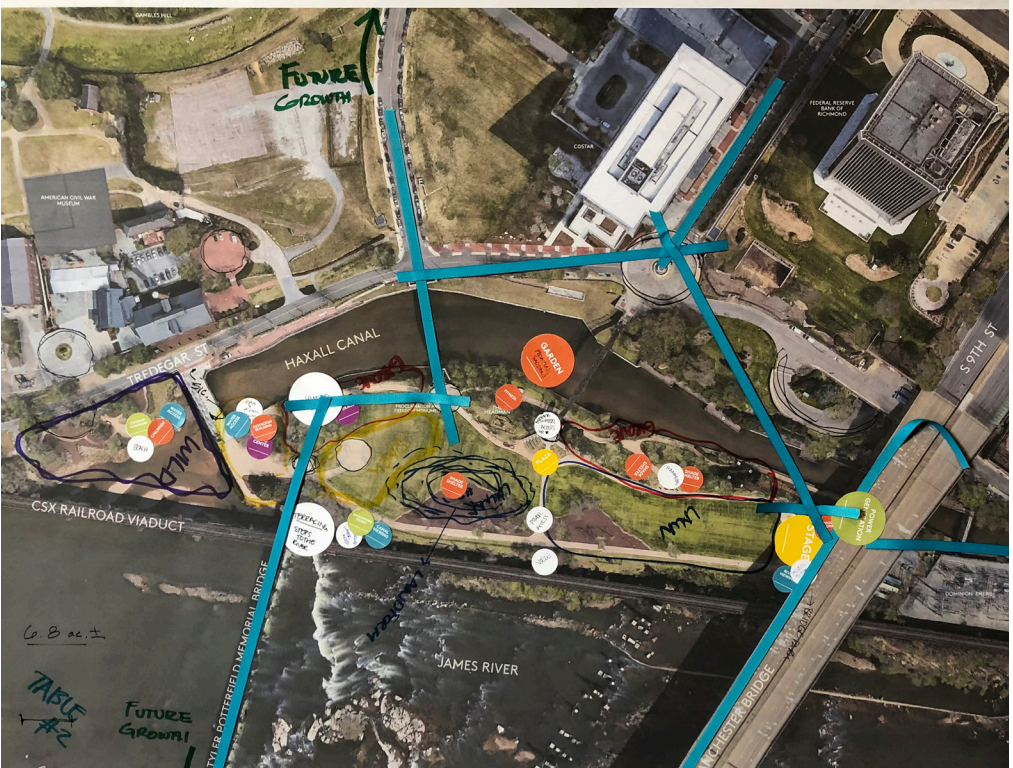


TABLE 2

BIP to function as a park than an event venue. Riverfront edge into a rough rock stepped edge. From left to right:
Wild/unconstructed educational and water sports hub. Tredegar St Bridge main access to service and retail areas. Access to the canal. North area to canal to become a grove-like area that can be used by people. Support infrastructure for vendors in North side to the canal. Great lawn and creation of landforms as an attraction and events.

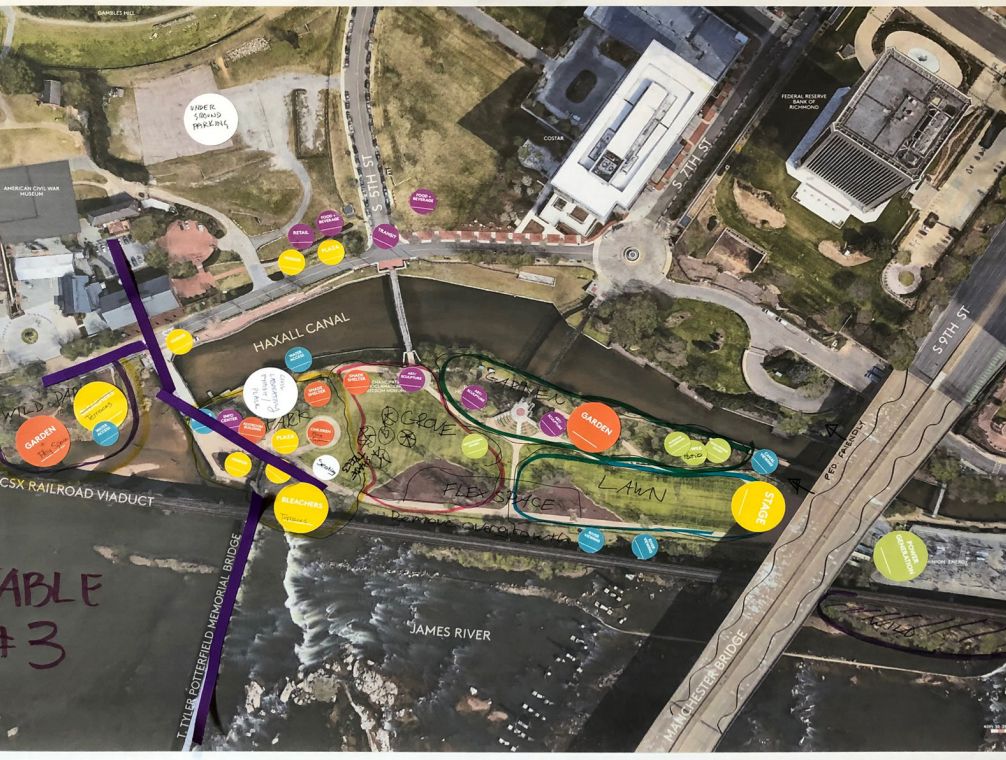


TABLE 3

Main access from west side. Access to the river with terraced edge. Five zones— 1. Plazas and support services around Mill monument area. 2. Grove area. 3. Lawn with stage to the East. 4. Garden area facing the canal .



TABLE 4

Trying to activate both sides of the canal by expanding complimentary uses. To the west side educational hub. Entrance through Tredegar St. Bridge, large plaza with services and retail. More visual connections to the river from the CSX side. Create one larger lawn area without path division in the middle. Art sculptures towards canal side and garden areas. Permanent stage should be Tredegar green.



TABLE 5

Various stage locations all over the park. Area towards canal to become a grove like type, opportunity to create more connection to the river and have steps in that side. Main entrance through west side by Tredegar St. Bridge, where all services are concentrated. Far to the west side, Kayak outdoor recreation near existing water line. Limited vehicular transit on 7th street.

ZOOM
[LANDSCAPE
CHARACTERS]

This part of Zoom is tailored specifically for the type of project that Brown’s Island is—a public space landscape architecture project. Five typologies of landscapes were loosely defined for participants to localize and analyze in the existing Brown’s Island park, with the objective of understanding better each space of and make better informed decisions about any proposal.

The 5 landscape typologies:

- **Wild:**
Natural look, de-constructed places, rough natural materials. Rocks, interaction with water. Wild vegetation.
- **Grove:**
Group of trees, immersive undercanopy experience. Programmed area underneath. Seasonal experiences.
- **Lawn:**
Clearing and open space for varying activities.
- **Garden:**
Smaller gathering areas defined by vegetation. Use of design concepts with vegetation to create sensorial experiences.
- **Park:**
Urban character public space. Hardscape areas and service support areas. Point of reference.

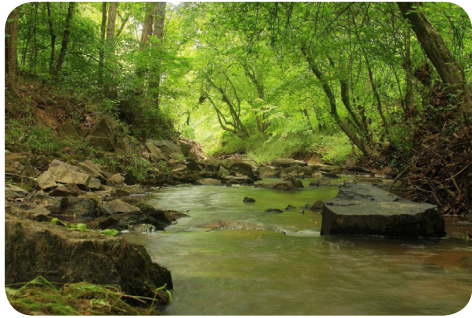
INSTRUCTIONS

Let’s take a closer look at the landscape character spaces of Brown’s Island. Where should different zones and landscape characters be located?

Bubble in areas on the plan relating to the prescribed landscape character zones.

Be prepared to discuss and look at the relationship between zones

WILD



- Natural Systems
- Animal Habitat



- Industrial Remnants
- Seasonal Changes



- Riparian Edge
- Water Access/Watersports

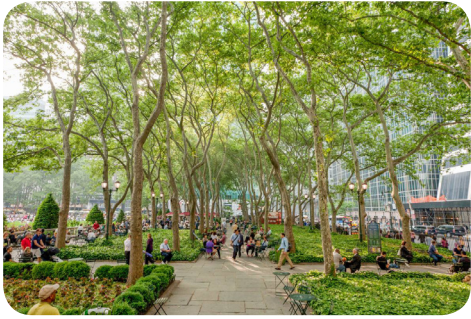


- Discovery Paths
- Native Plantings

GROVE



- Immersive
- Tree Canopy



- Shaded Gathering
- Dappled Light



- Fun Furnishings
- Art and Lighting



- Sunken Garden
- Organic Form

LAWN



- Sculpted Landforms
- Dramatic/Prospec



- Bound By Nature
- Clearing

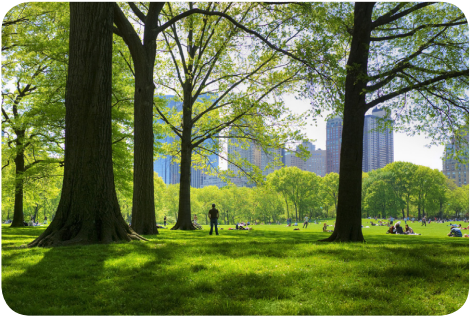


- Meadow Plantings
- Tilted Lawns



- Flexible Gathering
- Infrastructure for Events

GARDEN



- Open Views
- Pastoral Land



- Labyrinth/Maze
- Discovery

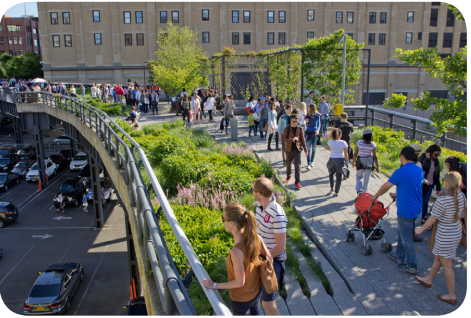


- Traditional Garden
- Picturesque



- Symmetry and Axial Layouts
- Pattern and Movement

PARK



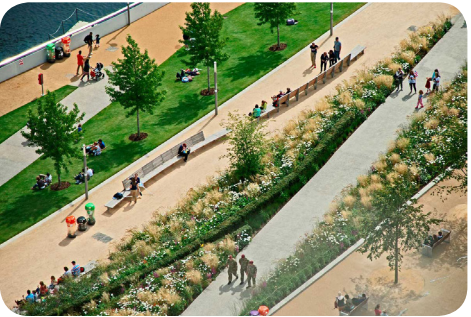
- Vibrant Public Space
- Post-industria



- Defined Gathering Spaces
- Playspaces



- Comfort and Flexibility
- Community Focus



- Contemporary Design
- Linear/Transpo

CHARRETTE RESULTS

BROWN’S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

ZOOM
[BAROMETER]

This last activity within the Zoom challenge was aimed to create a more defined consensus of the overall vision of Brown’s Island. After having been exposed to different types of discussions that had to do with more tangible elements, this activity goes back to the larger conceptual ideas and goals.

This Barometer shows each group’s consensus of the park.

INSTRUCTIONS

Let’s think about Brown’s Island in the future. With its current use as riverfront park and citywide event space, what might be the advantages or consequences of having a balanced program between park and event space.

Do you feel Brown’s Island should try to connect more to public users vs. event vendors and program?

THE OVERALL TAKEAWAY

Participants consider that Brown’s Island should have more of a Park character than an only focus as an events venue.

BROWN'S ISLAND
IQ CHARRETTE

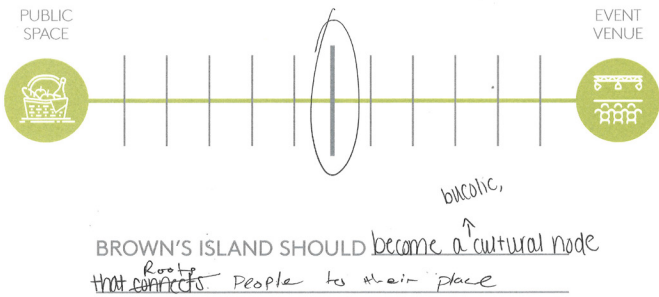


TABLE 1

TABLE 1

BALANCED
Brown’s Island should “become a bucolic, cultural node that roots people to their place”

BROWN'S ISLAND
IQ CHARRETTE

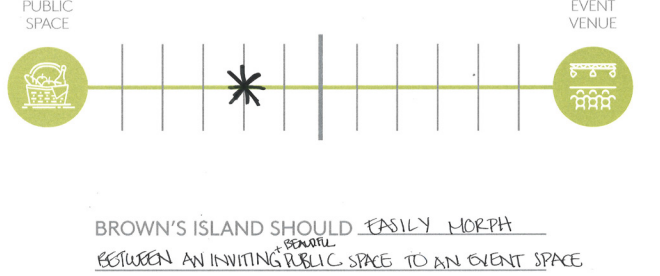


TABLE 2

TABLE 2

+ PUBLIC SPACE
Brown’s Island should “easily morph between an inviting beautiful public space to an event space”

BROWN'S ISLAND
IQ CHARRETTE

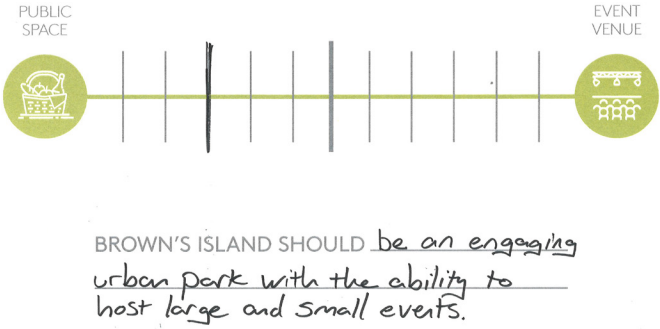


TABLE 3

TABLE 3

++ PUBLIC SPACE
Brown’s island should “be an engaging urban park with the ability to host large and small events”

BROWN'S ISLAND
IQ CHARRETTE

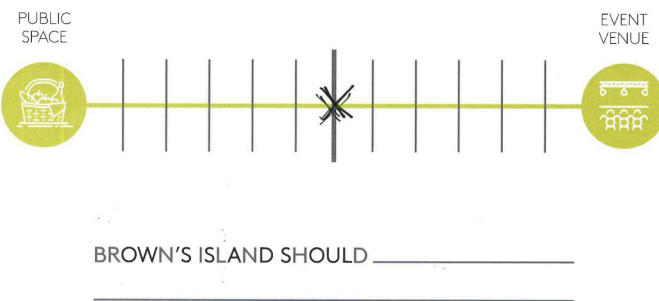


TABLE 4

TABLE 4

BALANCED

BROWN'S ISLAND
IQ CHARRETTE

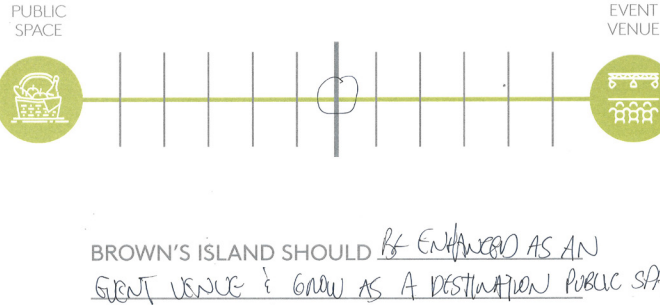


TABLE 5

TABLE 5

BALANCED
Brown’s Island should “be enhanced as an event venue and grow as a destination public space”

CHARRETTE RESULTS

OVERCOMMITTMENT
[THE LEGEND OF THE PINK PONY]

This challenge asks each team to choose a characteristic or concept for the project and overcommit to it. We intro by talking about branding and how projects can have recurring themes that become their defining characteristics, we show a lively video called 'Legend of the Pink Pony'. It's a little about branding and a little about public relations. We ask attendees to think about what aspect of the project we should 'overcommit' to (they can reference their essences list if that's helpful). They are also asked to provide a description of what that looks like in reality with ideas for physical products. They can use any medium they want – typically they just write ideas on their large paper pads and sometimes draw cartoons of the details.

INSTRUCTIONS

We know that intangible qualities can create a sense of belonging, a sense of community, and a sense of shared values. This can influence our emotions and our well-being. We also know that design can set the stage through the deployment of key concepts and touch points. What are the potential proof points that might be used to tell Brown's Island? What are your possible "Walking Sticks?" What are your "Pink Ponies?" What will visitors, clients, and staff be sharing with their friends (in real or virtual ways) about you? Where should you "overcommit"?

Working with your team, "overcommit" to the concept of Brown's Island. Create a movement: quiet and subversive, or loud and proud. Develop a "Unique Brand Promise." Then, make the intangible real by describing a variety of IQ elements - touch points - related to your vision. Use words, drawings, or props - anything you like to express your ideas.



TABLE 1

View finder
The ability to see the River
Nature
Good for Social Media to provide what you see.
A lot of opportunity at Brown's Island for that to happen.



TABLE 2

"Instagrammable" Moment
Spaces and moments dedicated to view the River and the City
City as the Backdrop



TABLE 3

It's not just an Island but a Destination.
A Departure point.



TABLE 4

Gateway: between very urban to natural area of the park system.
Have structures made out of **natural materials**, rope, stone, terrace made from stone NOT concrete.



TABLE 5

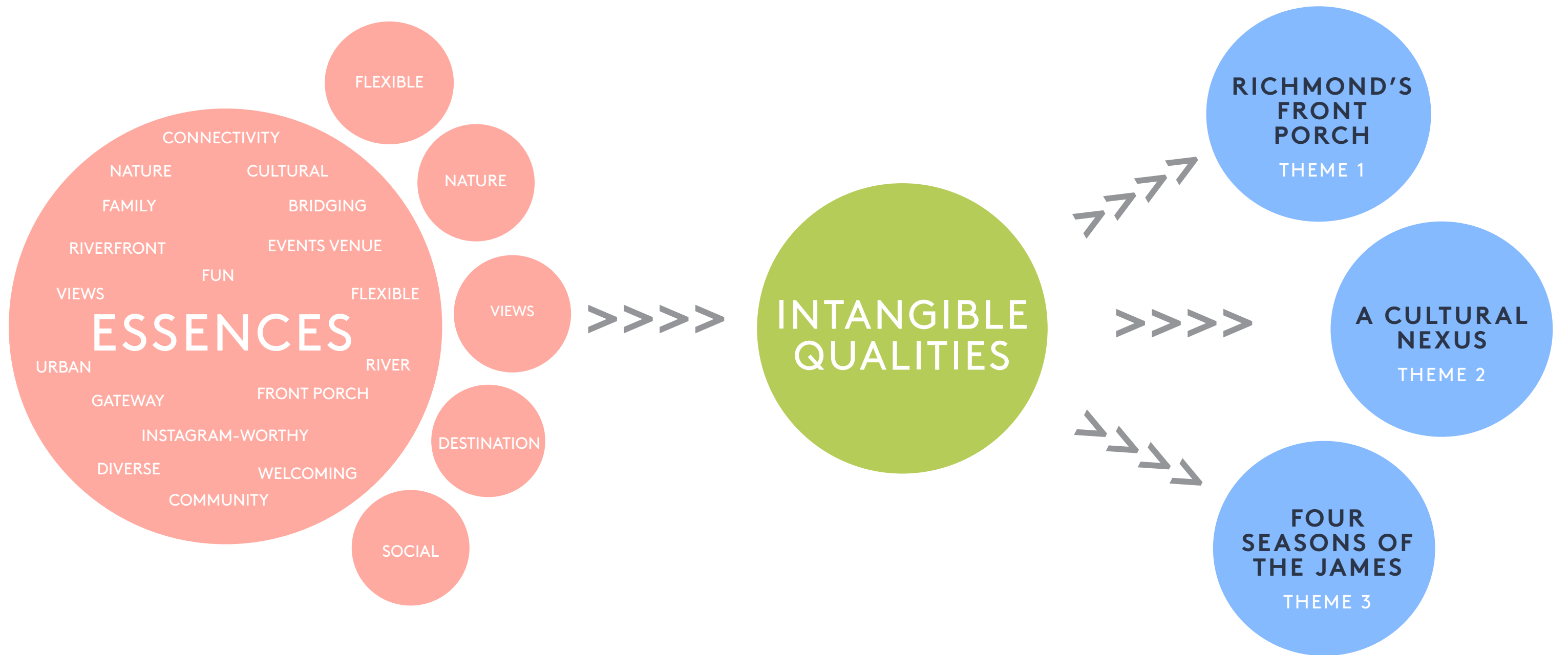
Tagline or rebranding?
Stone and rocks and juxtaposition of the River

CHARRETTE RESULTS

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

DELIVERABLES

In the Deliverables phase the information collected during the Charrette phase gets processed to create different products from each challenge. This is informed not only by the final results of the Charrette but with notes and the overall take aways from the team. These four products are: Themes, Palettes, Dashboards and Proof Points which serve as the collected and processed consensus of the stakeholder's goals in the project with the design team's input.



DELIVERABLES THEMES

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

RICHMOND'S FRONT PORCH

A PLACE TO SEE AND BE SEEN



- A social hub for Richmond
- Making memories
- A magnetic place that draws people in with activity
- 'Instagrammable' features and experiences
- Unique seating opportunities
- Elevation changes and dynamic landscape
- Elements that draws people in – visual+sound
- Interactive features
- Art and innovative lighting
- Customizable features and spaces
- Memorable and unique

A CULTURAL NEXUS

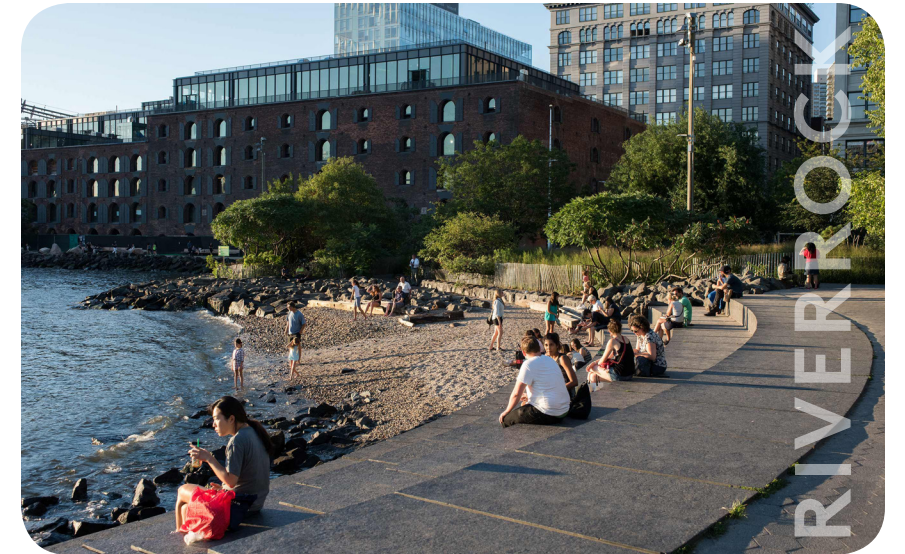
A PLACE FOR CONNECTION



- A venue for events of all sizes
- Both a downtown destination and a departure point to other adventures
- Educational opportunities related to history, nature, recreation, and art
- Kinetic energy of river, canal, trails, railroad
- Destination for locals and tourists alike
- Informal gathering spaces and viewing locations
- Connections to surrounding history and cultural sites
- Comfortable and thoughtful

FOUR SEASONS OF THE JAMES

A PLACE OF WATER AND WONDER



- Showcase and celebrate natural systems
- Provide a variety of river and canal experiences
- Celebrating the James River's recreational opportunities
- Natural materials: boulders, wood
- Materials that age and change over time
- Experiences and plantings that highlight seasons
- Flexible spaces and features
- Make the river and canal highly visible while maintaining a sense of discovery
- Ephemeral and timeless

DELIVERABLES THEMES

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

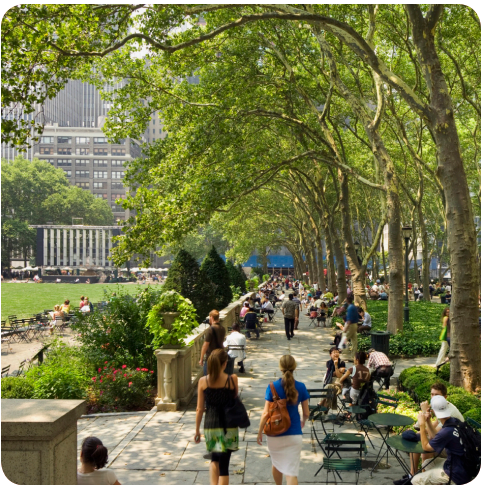
RICHMOND'S FRONT PORCH

A PLACE TO SEE AND BE SEEN

welcoming, outdoor living room, 24-hour program, lights, sit back and relax, story-telling, unconventional furniture, landmarks, fun, family, friends, inclusive, instagrammable, people watching, shared spaces, colorful, memorable, art installations, hackable spaces, flexibility, simple fun, innovation and technology, comfortable, social, celebration



OPEN LAWN AREAS FOR GATHERING



STRUCTURAL PLANTINGS TO CREATE GARDEN ROOMS



UNIQUE SPECIMEN PLANTS - INSTAGRAMMABLE



NIGHT INTEREST PLANTS - NIGHT BLOOMERS AND INTENSE SCENTS

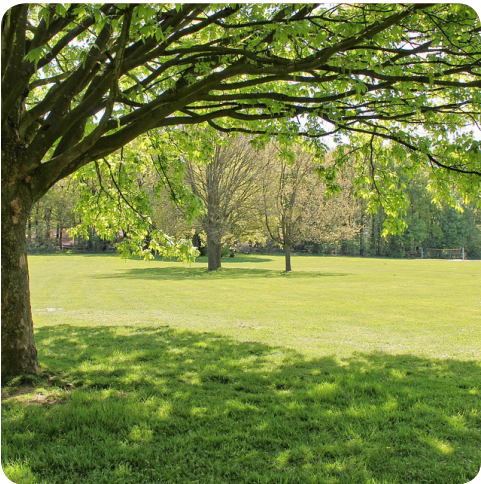
A CULTURAL NEXUS

A PLACE FOR CONNECTION

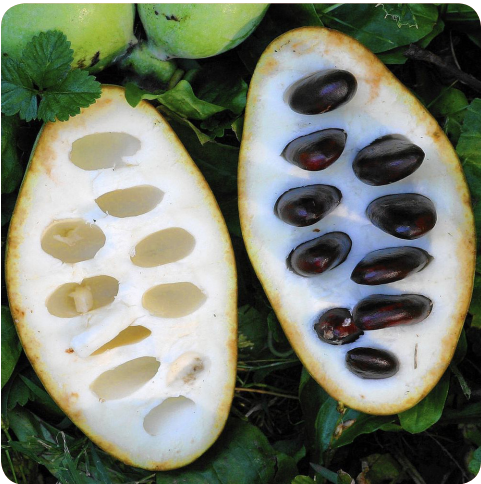
cultural showcases, events, gathering of the community, people, open-minded space, learning, event venue, flexible spaces, point of reference, tourism destination, the river, the canal's history, energy generator, accessibility, sustainability, kinetic energy, bridging history, the old and the new, post-industrial, global connections, transportation



MONARCH BUTTERFLY MIGRATION STATION



LARGE CANOPY TREES FOR SHADE



PAW PAW TREES - UNIQUE NATIVE FRUIT TREE



PURPLE IRIS - RICHMOND CITY'S OFFICIAL FLOWER

FOUR SEASONS OF THE JAMES

A PLACE OF WATER AND WONDER

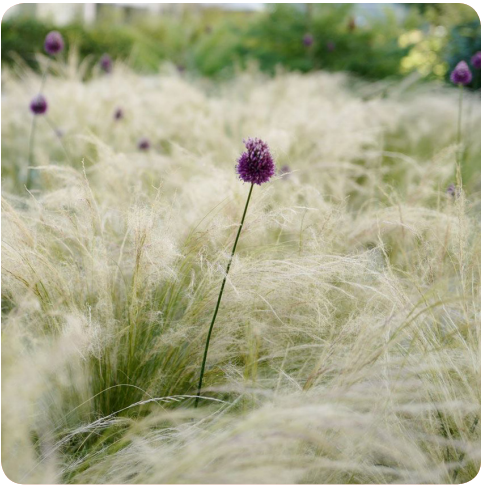
water, the river, the canal, recreation, celebrate natural systems, wetland, wild, unconstructed feel, wild-play, sensory exploration, all ages, engaging, seasonality, wildlife, views, natural materials, connections, stewardship, nature as art, touch, see, feel, learn, native plants, virginia plants, watersports, life cycles, migration



ECOLOGICALLY CONNECTED NATURAL PLANT COMMUNITIES



FOOD SOURCES FOR NATIVE WILDLIFE



MEADOW GRASSES AND PERENNIALS INSTEAD OF TURF FOR WATER QUALITY IMPROVEMENTS



PLANTS THAT MARK THE CHANGING SEASONS

PALETTES PLANTING CHARACTER

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

RICHMOND'S FRONT PORCH

A PLACE TO SEE AND BE SEEN

welcoming, outdoor living room, 24-hour program, lights, sit back and relax, story-telling, unconventional furniture, landmarks, fun, family, friends, inclusive, instagrammable, people watching, shared spaces, colorful, memorable, art installations, hackable spaces, flexibility, simple fun, innovation and technology, comfortable, social, celebration



VENDORS AND POP-UP'S



MOVEABLE FURNITURE



POINTS OF PROSPECT AND OVERLOOKS



ART INSTALLATIONS

A CULTURAL NEXUS

A PLACE FOR CONNECTION

cultural showcases, events, gathering of the community, people, open-minded space, learning, event venue, flexible spaces, point of reference, tourism destination, the river, the canal's history, energy generator, accessibility, sustainability, kinetic energy, bridging history, the old and the new, post-industrial, global connections, transportation



BRANDED WAYFINDING SIGNAGE SYSTEM



BATHROOMS AND OTHER SUPPORT STRUCTURES



MULTI-MODAL TRANSPORTATION SUPPORT



OUTDOOR CLASSROOM/GATHERING SPACES

FOUR SEASONS OF THE JAMES

A PLACE OF WATER AND WONDER

water, the river, the canal, recreation, celebrate natural systems, wetland, wild, unconstructed feel, wild-play, sensory exploration, all ages, engaging, seasonality, wildlife, views, natural materials, connections, stewardship, nature as art, touch, see, feel, learn, native plants, virginia plants, watersports, life cycles, migration



RE-INTERPRETING NATURE - 'ROCK-HOPPING' OVER STEPPING STONES



DOCKS AND BOAT LAUNCH - UNIVERSAL DESIGN



TERRACED EDGES ALONG WATERWAYS



WATER FEATURES

PALETTES LANDSCAPE FEATURES

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

RICHMOND'S FRONT PORCH

A PLACE TO SEE AND BE SEEN

welcoming, outdoor living room, 24-hour program, lights, sit back and relax, story-telling, unconventional furniture, landmarks, fun, family, friends, inclusive, instagrammable, people watching, shared spaces, colorful, memorable, art installations, hackable spaces, flexibility, simple fun, innovation and technology, comfortable, social, celebration



GROUP EXERCISE



MUSICAL PERFORMANCES



DRAMATIC NIGHT EVENTS



UNIQUE SEATING OPPORTUNITIES FOR CASUAL GATHERING

A CULTURAL NEXUS

A PLACE FOR CONNECTION

cultural showcases, events, gathering of the community, people, open-minded space, learning, event venue, flexible spaces, point of reference, tourism destination, the river, the canal's history, energy generator, accessibility, sustainability, kinetic energy, bridging history, the old and the new, post-industrial, global connections, transportation



GLOBALLY CONNECTED TECHNOLOGY - THE PORTAL



HISTORIC REPLICAS/ARTIFACTS AND INTERPRETATION



LARGE FESTIVALS



HACKABLE SPACES WITH FLEXIBLE PROGRAMMING

FOUR SEASONS OF THE JAMES

A PLACE OF WATER AND WONDER

water, the river, the canal, recreation, celebrate natural systems, wetland, wild, unconstructed feel, wild-play, sensory exploration, all ages, engaging, seasonality, wildlife, views, natural materials, connections, stewardship, nature as art, touch, see, feel, learn, native plants, virginia plants, watersports, life cycles, migration



WATCHING BIRDS AND OTHER WILDLIFE



RECREATIONAL PADDLING IN THE CANAL AND RIVER



NATURE INSPIRED PLAY



GETTING CLOSE TO THE WATER



DASHBOARD BROWN'S ISLAND

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



TREE LONGEVITY

- Thoughtful selection and placement of new shade trees to protect their root zones from foot traffic and vehicular traffic
- Use modern technologies and best practices such as structural soils, silva cells, etc. to ensure tree health

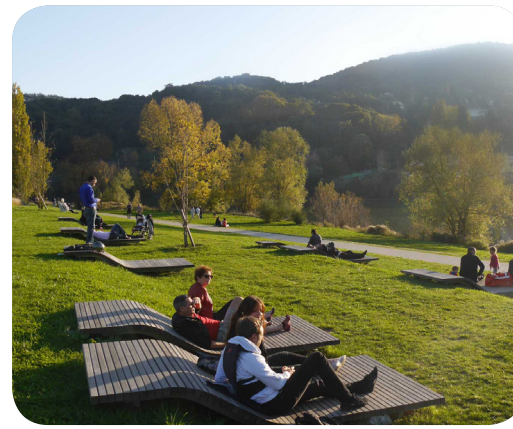
1



ERODING EDGES

- Highlight the threshold condition between urban and natural by using eroded edges or breaks in paving materials to transition to natural areas
- Create transitions that allow gradual shifts in landscape character versus hard edges

2



FRONT PORCH/BACK PORCH

- Create welcoming and pleasant socializing spaces at both major entryways to the island
- Celebrate the island's access points and enhance them to encourage visitors to stay and engage in multiple destinations versus just passing through

3



A PEOPLE PLACE

- Create a design that accommodates event dynamics easily but equally focuses on the comfort of everyday park visitors
- Strive to provide some form of public access through the park even during private events

4



WATER CONNECTIONS

- Enhance the views to the water by maintaining vegetation to appropriate heights and by providing multiple opportunities to see and touch the water
- Improve physical access to the canal and river for watercraft

5



RIVER METER

- A visible marker of the river's health over time, showing it's progress to date and target future levels
- Exhibit that speaks to the history of hydroelectric power generation on Brown's Island

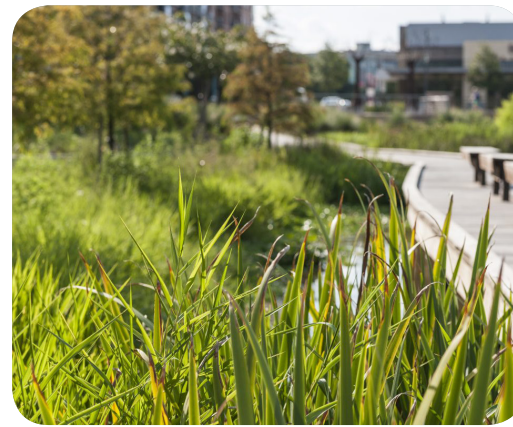
6



TREDEGAR STREET

- Reimagine Tredegar St. as a pedestrian oriented public space and/or Bike-Walk Street
- Improve pedestrian and cycling infrastructure and consider limiting vehicular access opportunities on Tredegar St.

7



BAYSCAPES

- Expand and enhance the existing Bayscapes garden area to further educate visitors on native plants, water quality, green infrastructure, and ecological communities

8



PROGRAM SUPPORT

- Provide permanent (or semi-permanent) physical structures to house program support needs of Brown's Island, this could include restrooms, storage space, green room, meeting space, vendors, trash and recycling facilities, etc.

9



ECONOMICS

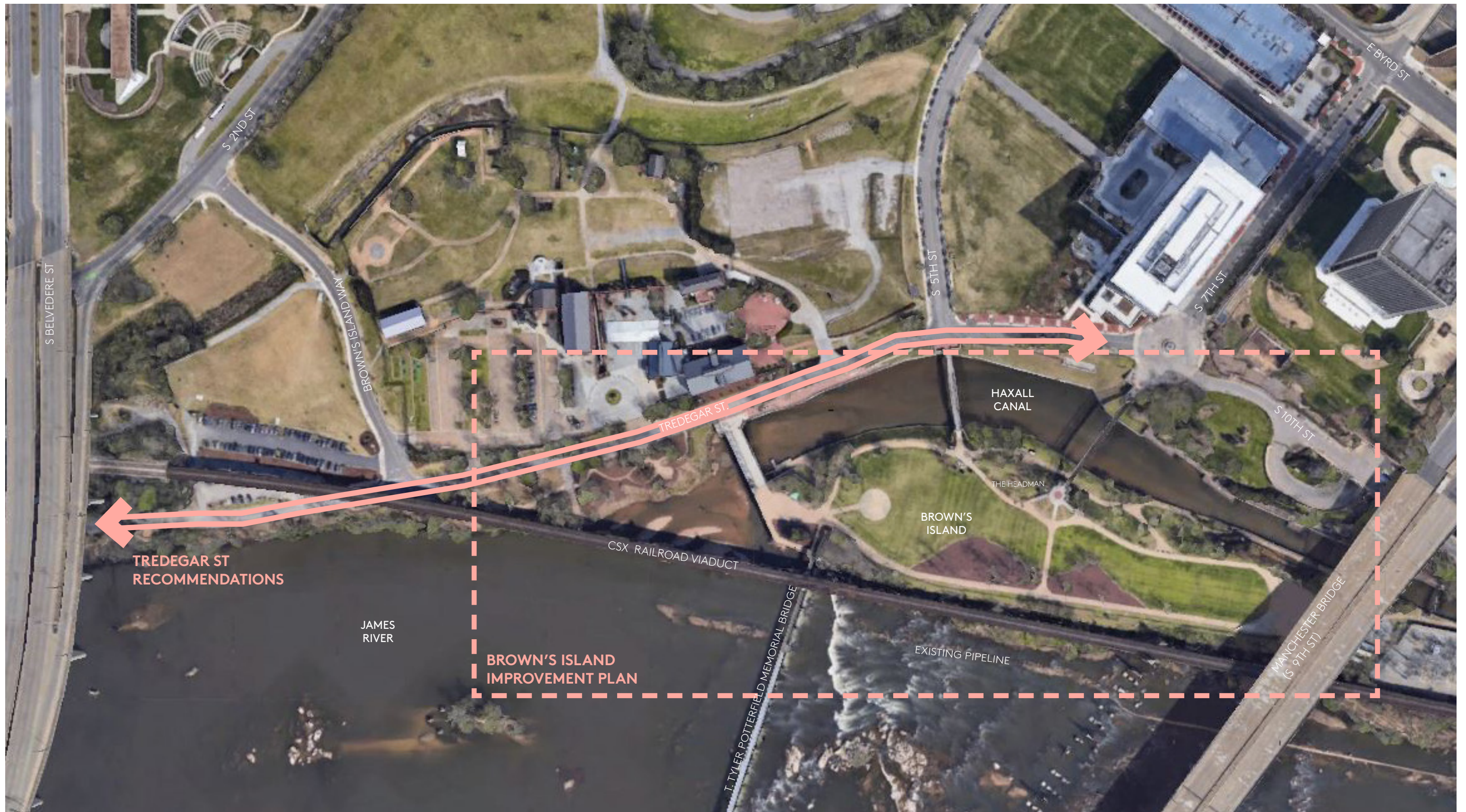
- Create economic opportunities for local businesses, non-profits, and educators by creating space for food+beverage, outfitters, recreational groups, rentals, and other programming/services to be offered on the island
- Host pop-up events

10

PROOF POINTS BROWN'S ISLAND PARK

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

SITE ANALYSIS



BROWN'S ISLAND AERIAL

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



LEGEND	
	Groundcover/Lawn
	Treeline
	Mulch
	River/Canal
	Path System
	Existing Structures
	Roads
	CSX Viaduct

EXISTING KEY	
	Emancipation Proclamation And Freedom Monument [Unbuilt]
	The Headman Statue
	The Mill Statue
	Historic Bridge Pylons
	Existing Building




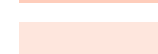
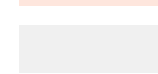


BROWN'S ISLAND EXISTING SITE

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LEGEND

	M-1 CSX
	RO-3
	M-1
	B-4
	DCC

DCC
Downtown Civic and Cultural

Allowable Desired Uses:

Retail, Restaurant, Multi-Family, & Parking Deck (POD Required for All)

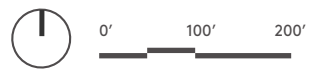
Setbacks:

Front: 0' *
Side: None
Rear: None

Height:
No Maximum Height Limit*

Floor Area & Usable Open Space:

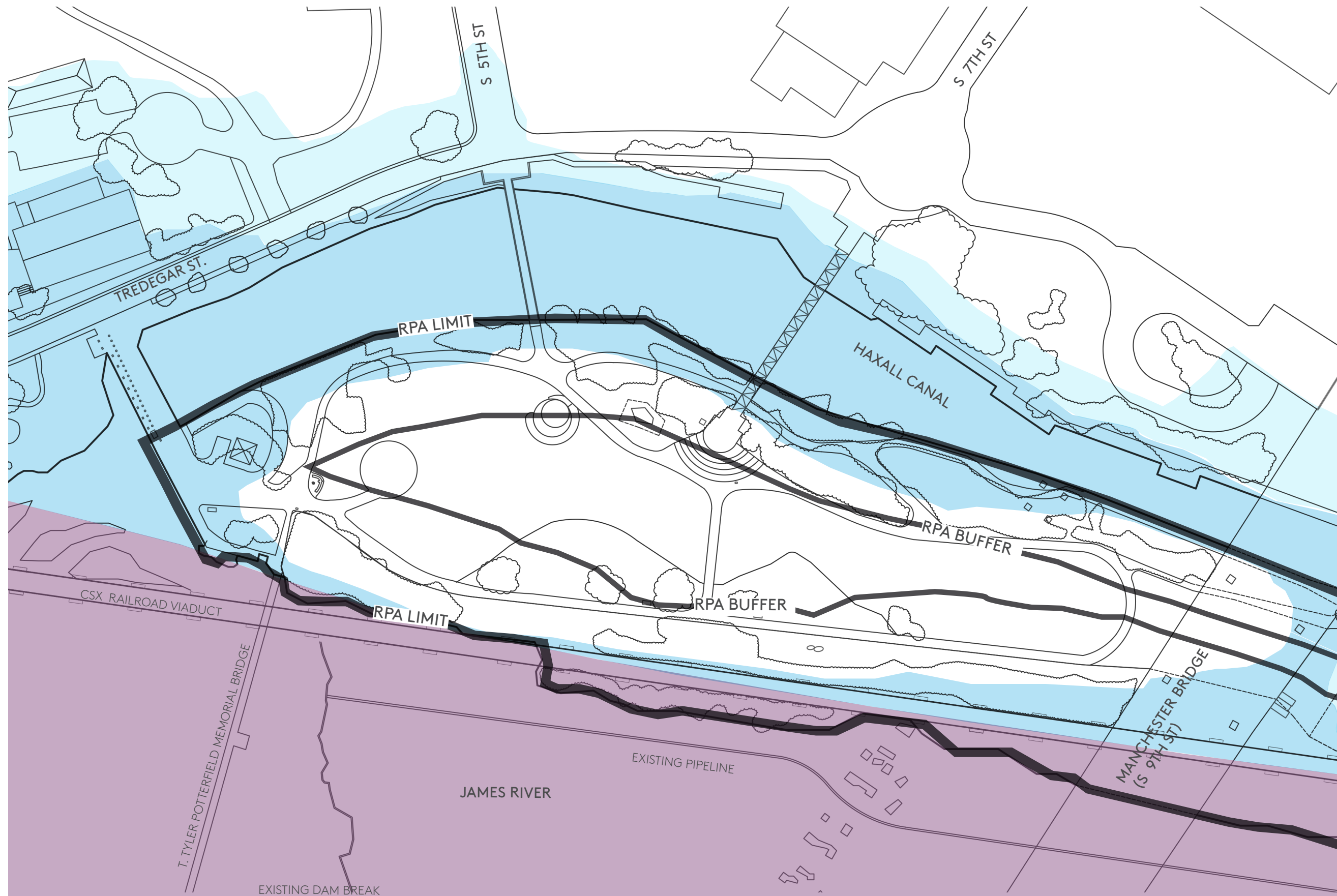
The floor area ratio shall not exceed 6.0, provided that additional floor area is permitted for non-dwelling uses.
A usable open space ratio of not less than 0.08



BROWN'S ISLAND ZONING DATA

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019





LEGEND

	FLOODWAY
	100 YR FLOODPLAIN
	500 YR FLOODPLAIN
	RPA LIMIT
	RPA BUFFER

Creating a strong relationship with The James River with Brown's Island park users begins with understanding the environmental and changing local patterns of the surrounding area.

Brown's Island is under the guidance of the Chesapeake Bay Act with directs applicable properties to sensitively design in areas including an RPA and RMA.

The Resource Protection Area (RPA) includes all tidal wetlands; tidal waters; non-tidal wetlands connected by surface flow and contiguous to tidal wetlands or water bodies with perennial flow; shorelines; and a one hundred (100) foot vegetated buffer around each such feature and around all water bodies with perennial flow.

Improvement projects that are proposed in the RPA Buffer will need to meet specific design requirements from the regulation.

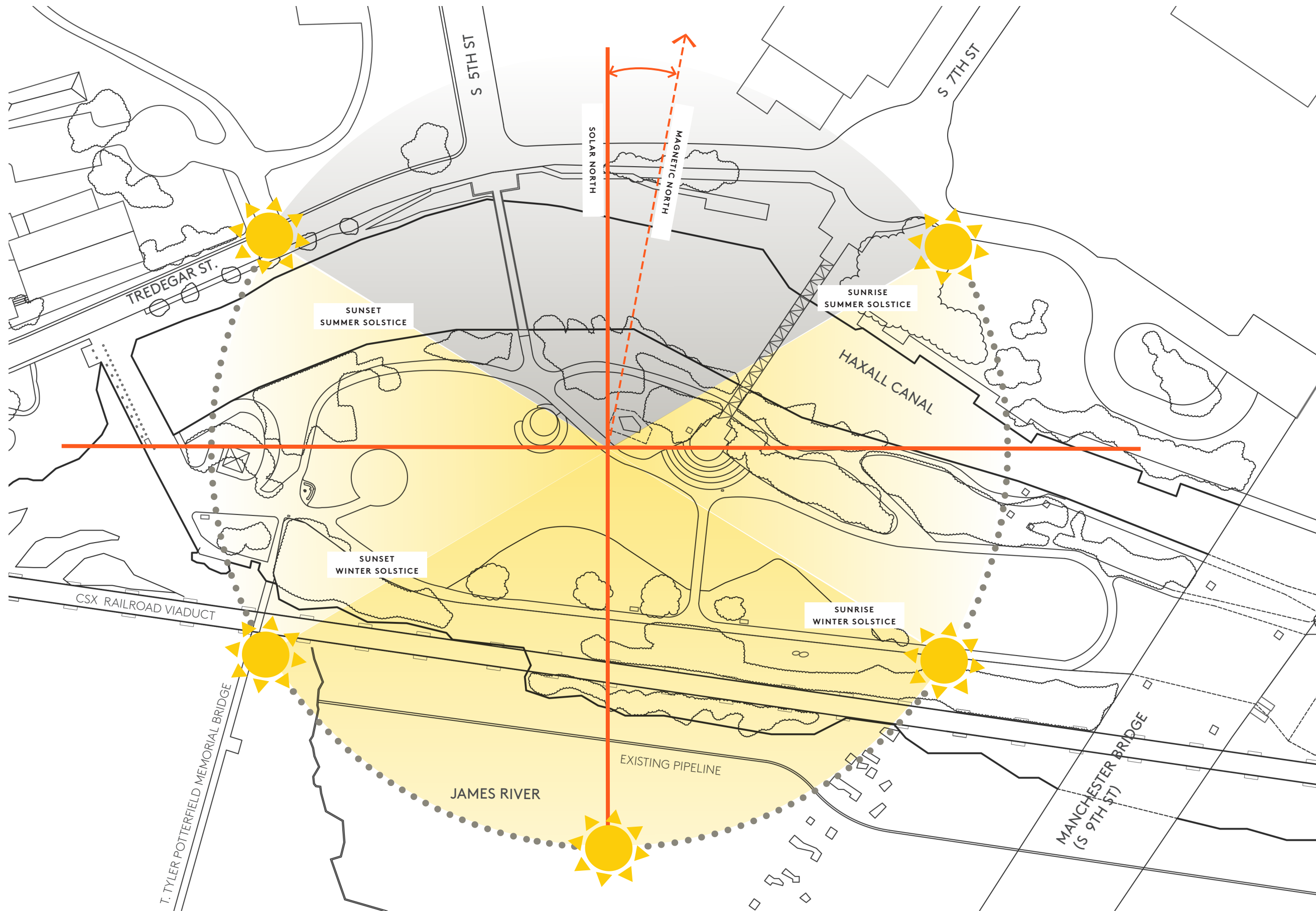
Likewise, any new structures that are proposed in the 100 Year Floodplain will need to meet specific design requirements to mitigate any hazards. All projects shown in this improvement plan are possible to build in the locations shown with proper design considerations and permitting.



BROWN'S ISLAND FLOODPLAIN

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SOLAR DECLINATION

10° 15' W +/- 0° 21' changing by 0° 0' E per year

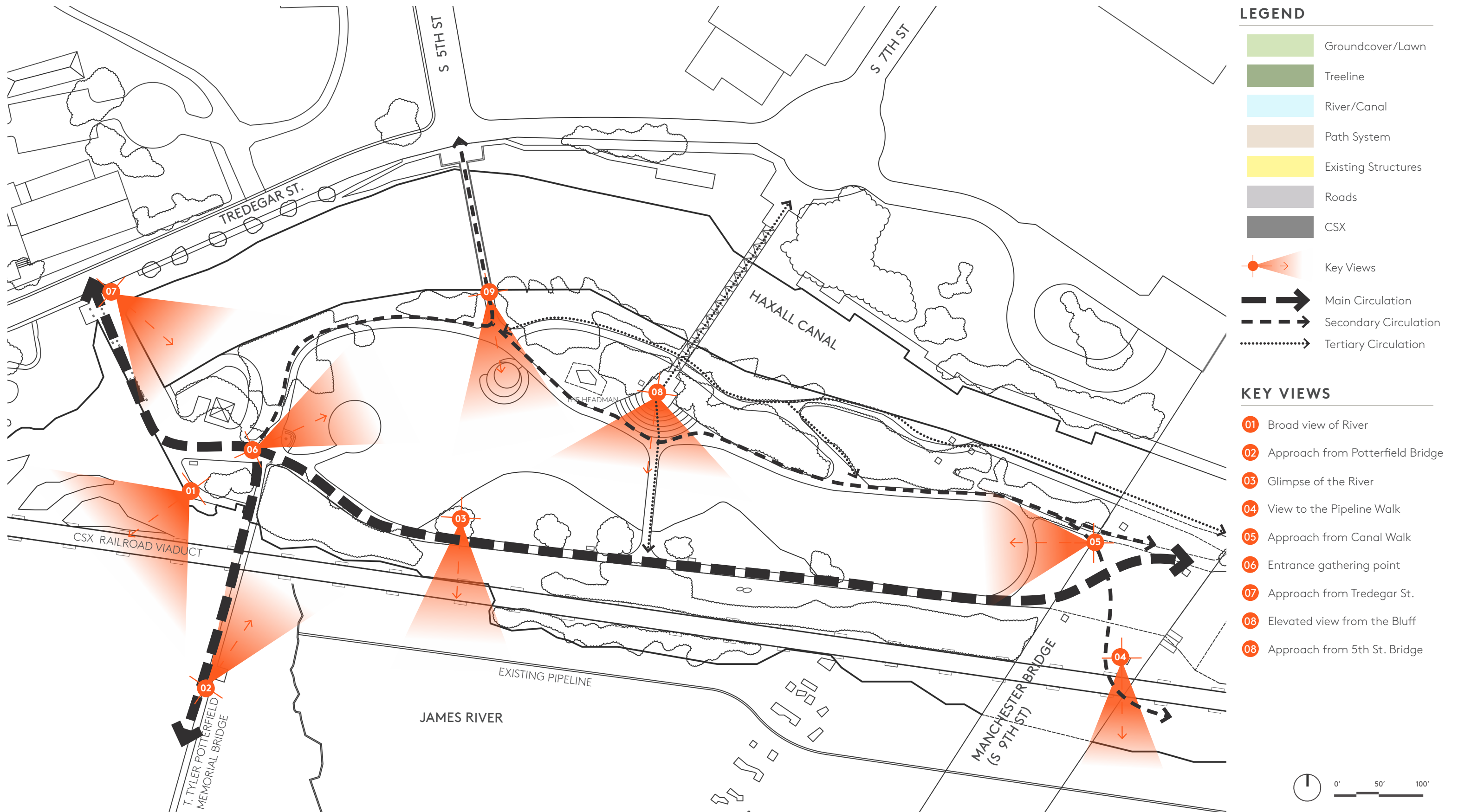
*calculated based on the current World Magnetic Model (WMM) for Richmond, VA:

Latitude: 37° 32' 26" N
 Longitude: 76° 24' 9" W
 Source: <https://www.ngdc.noaa.gov/geomag/calculators/magcalc.shtml>

BROWN'S ISLAND SOLAR ANALYSIS

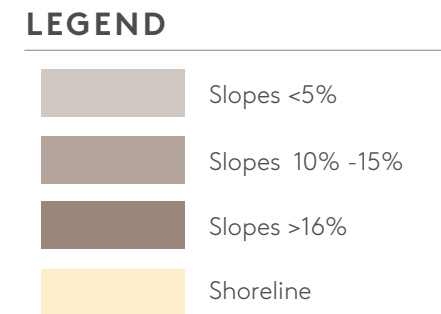
BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019





BROWN'S ISLAND VIEWS + CIRCULATION

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



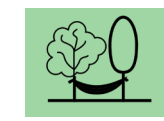
BROWN'S ISLAND SLOPE ANALYSIS

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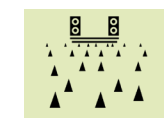


LANDSCAPE CHARACTER



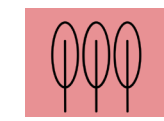
GARDEN

- 01 Cherry Tree Walk
- 02 Possible soil issues where tree growth appears stunted



LAWN

- 03 Helipad
- 04 Undefined open space



GROVE

- 05 Declining Sycamore Trees



PARK

- 06 Existing building
- 07 Canal Access



WILD

- 08 Unmaintained edges obstructing key views
- 09 Pipeline Walk access trail



BROWN'S ISLAND CHARACTER ZONES

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



PROJECTS AND STRATEGIES



- AREA MAP**
- A FRONT PORCH**
 - 01 Potterfield Balconies
 - 02 Canal Terraces
 - 03 The Mill
 - 04 Island Square
 - B CLEARING**
 - 05 Emancipation Monument
 - 06 Repurposed Helipad
 - 07 Hammock Woods
 - C THE POINT**
 - 08 Central Stair
 - 09 The Spring
 - 10 Shade Features
 - D GREAT LAWN**
 - 11 Central Event Lawn
 - 12 River Terraces and Trail
 - 13 Signature Art
 - 14 Stage Area
 - 15 Esplanade
 - E BACK PORCH**
 - 16 Flexible Programming
 - 17 Support Buildings
 - 18 Pipeline Terraces and Improved Path
 - F HAXALL GARDENS**
 - 19 The Nest
 - 20 Canal Dock
 - 21 Canal Art
 - 22 New ADA Path to 7th St. Bridge Landing
 - G STURGEON COVE**
 - 23 River Pavilion
 - 24 The Launch
 - 25 Nature Play
 - 26 Bayscapes Garden

BROWN'S ISLAND AREA MAP

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



IMPROVEMENT PROJECTS

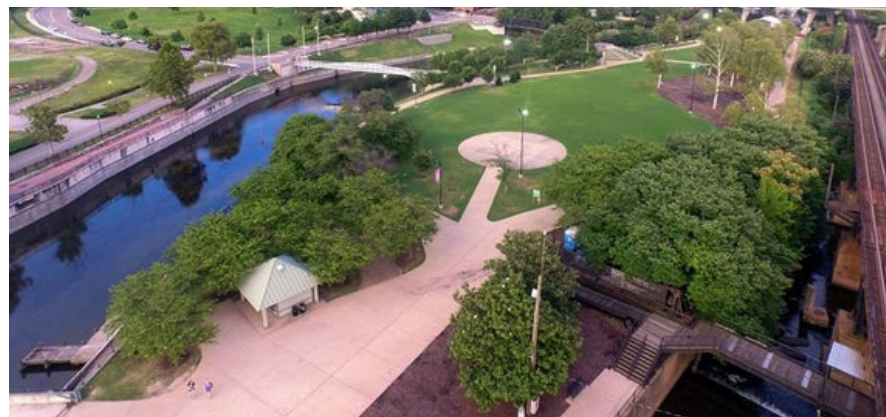
FRONT PORCH

This area of Brown's Island is called The Front Porch because as the island's most active and visible entry point it's welcoming character sets the stage for the rest of the island and invites visitors to come in and spend some time. Since the opening of the T. Tyler Potterfield Memorial Bridge (T.Pott.) this end of Brown's Island has seen a significant amount of new visitors and the Front Porch region will capitalize on that exposure and activit.

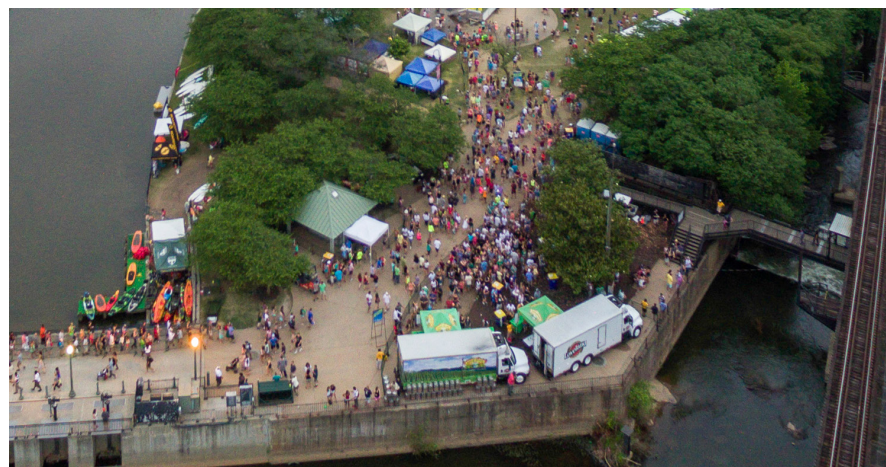
Many of the improvements in this area take cues from suggested projects in the City of Richmond's Riverfront Plan including projects such as the Canal Terraces. Improvements also seek to expand and build on the design of the T.Pott. including improved ADA access and features that allow visitors to see and experience the James River as much as possible.

Since the focus here is on welcoming visitors and providing experiences and services that encourage them to stay on the island improvements such as vendors (including food and beverage, recreation equipment rentals, etc.) restrooms, information kiosks, wayfinding signage, drinking fountains, and flexible seating opportunities can be found in The Front Porch.

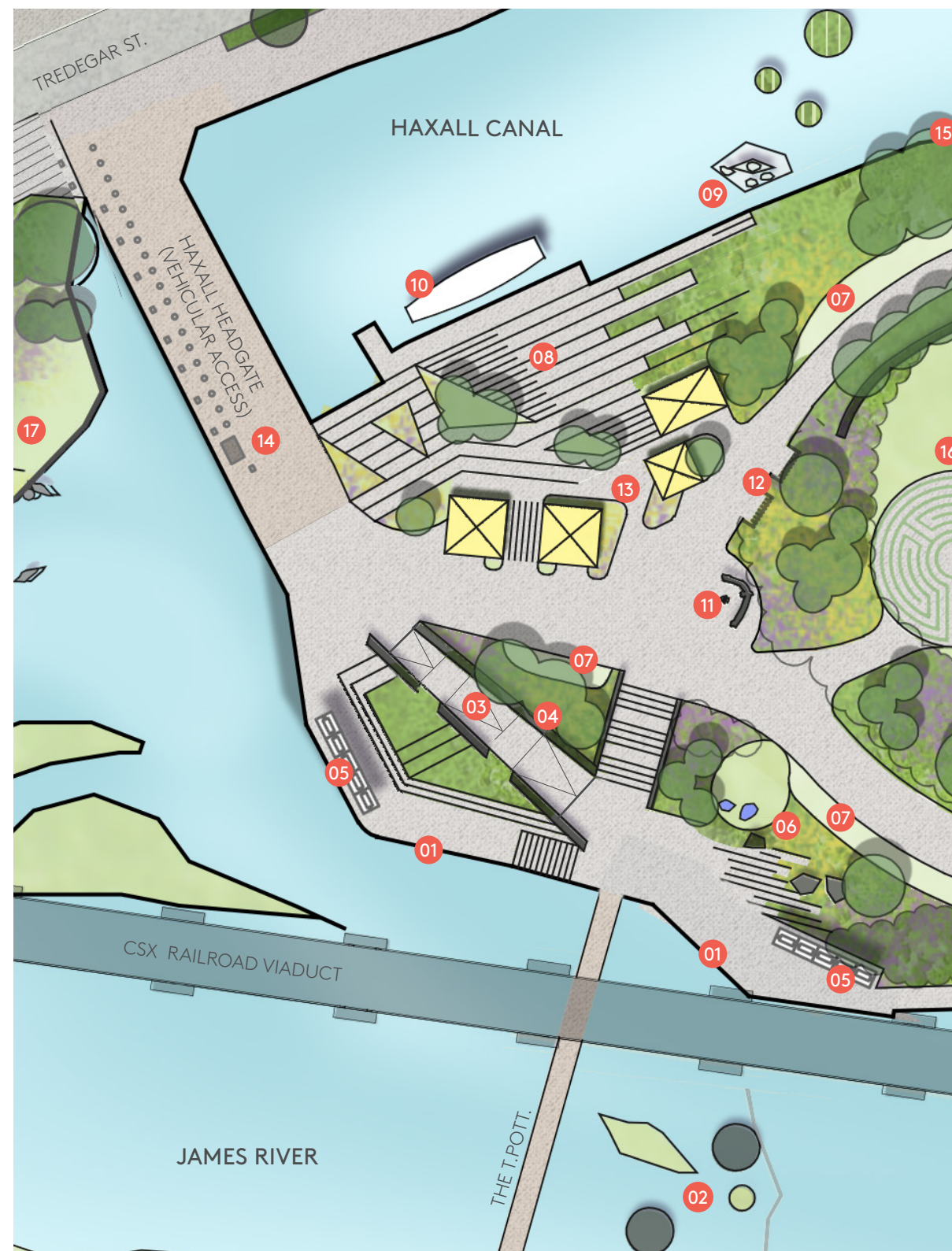
EXISTING CONDITIONS



View looking east/northeast



View looking east during an event

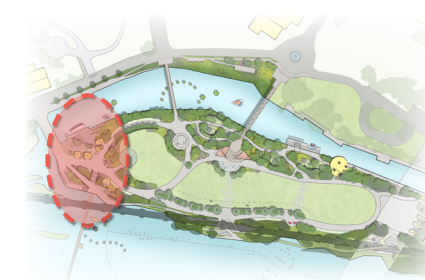


SITE PLAN ENLARGEMENT - NTS

KEY FEATURES

- 01 **Potterfield Balconies** - cantilevered balconies on either side of the T.Pott. entrance for enhanced river viewing opportunities
- 02 **Paddling Feature** - a built river play feature for paddlers in the area around the existing dam break
- 03 **Sloped Plaza** - ADA access to the T.Pott. that seamlessly integrates into a terraced lawn seating area for additional views of the river
- 04 **T.Pott. Signage** - relocation of the existing T.Pott. sign to the face of the sloped plaza wall, design will incorporate salvaged material from existing industrial machinery
- 05 **Trellis Swings** - facing the river
- 06 **Art or Natural Play Feature**
- 07 **Layby Areas** - reinforced paving material areas for vehicle pull-off, porta potties, and vendor space during events
- 08 **Canal Terraces** - seating terraces with integrated plantings, design would include ADA access down to the canal as well as a sloped path for watercraft and maintenance access
- 09 **Headman Sculpture** - suggestion to relocate this art piece to be installed in the canal or adjacent to it
- 10 **Bateau Historic Exhibit**
- 11 **Existing Mill Sculpture to Remain**
- 12 **Bicycle Racks** (2 clusters of 10)
- 13 **Island Square** - cluster of small building that can house vendors, permanent restrooms, support space for programs, outdoor seating, and various visitor comfort features (see pg 64)
- 14 **Haxall Headgate** - removal of non-functional relics/machinery will create space for a safer pedestrian accessway along with new wayfinding signage
- 15 **Haxall Gardens** (see pg 58)
- 16 **The Clearing** (see pg 50)
- 17 **Sturgeon Cove** (see pg 60)

KEY MAP



FRONT PORCH

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

PRECEDENTS

FRONT PORCH

Bryant Park Winter Village, New York, New York



Clusters of small buildings are envisioned in Island Square

Smale Riverfront Park, Cincinnati, Ohio



Trellis swings facing the river along either side of the T.Pott.

Klyde Warren Park, Dallas, Texas



Gateway markers to enhance entryways

Mortensen Riverfront Plaza, Hartford, Connecticut



Daily food and beverage options programmed into the park

CityDeck, Downtown Green Bay, Wisconsin



Balconies to get visitors closer to the river to watch activities

Canal Terraces, Siegen, Germany



Terraces with integrated landscaping along the Haxall Canal

FRONT PORCH

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

IMPROVEMENT PROJECTS

THE CLEARING

This area of Brown’s Island is called The Clearing because it’s intended to feel like it was carved out of the island’s tree canopy (that existed historically). Giving this space an identity and unique features allows it to be its own venue for smaller events, and a fun and flexible programmed space for every day park visitors offering a different experience from The Great Lawn. This space and its trees also help provide some physical separation and visual breathing room around the planned Emancipation Monument.

Minor grading changes and the addition of a retaining wall help ensure this space remains functional for events, whether for self contained events or as expansion area for The Great Lawn. The trees selected to surround The Clearing will be tall enough and properly pruned so as not to interfere with service vehicles. Unique seating and art features are located around the perimeter of the space in the landscaped areas in order to keep the center space open and flexible for programming.

The existing helipad could be modified with a painted mural or changed into a labyrinth while still functioning as a hardscape area for events.

EXISTING CONDITIONS



View of helipad area looking east



View from existing path looking southeast



SITE PLAN ENLARGEMENT - NTS

KEY FEATURES

- 01 **Emancipation Monument Plaza** - the new Emancipation Proclamation and Freedom Monument is expected to be completed in 2020 and includes sculptures and a hardscape plaza surrounded by native landscaping and spring flowering trees
- 02 **Helipad Labyrinth** - the helipad can be repurposed into an interactive art feature such as a labyrinth while still maintaining its ability to be used as a paved staging area for events
- 03 **Retaining Wall** - a low retaining wall (estimated to be from 18"-30" in height) helps create a level lawn area for improved tent usage for events
- 04 **Windbreak** - at the base of the retaining wall large specimen trees are planted to create a sense of enclosure for the lawn area, the specific tree species would be selected to ensure vehicular clearances along the pathway
- 05 **Hammock Woods**- landscaped areas around the edges of The Clearing (either side of the Helipad Labyrinth) where dynamic seating opportunities such as hammocks would be located among the trees along with festive lighting features
- 06 **Lawn Area** - level lawn area for programming
- 07 **Art or Natural Play Feature**
- 08 **Layby Areas** - reinforced paving material areas for vehicle pull-off, porta potties, and vendor space during events
- 09 **Haxall Gardens** (see pg 58)
- 10 **Great Lawn** (see pg 54)

KEY MAP



PRECEDENTS
THE CLEARING



Smale Riverfront Park, Cincinnati, Ohio

Labyrinth feature using lawn and flat hardscape allows for flexible use of the space



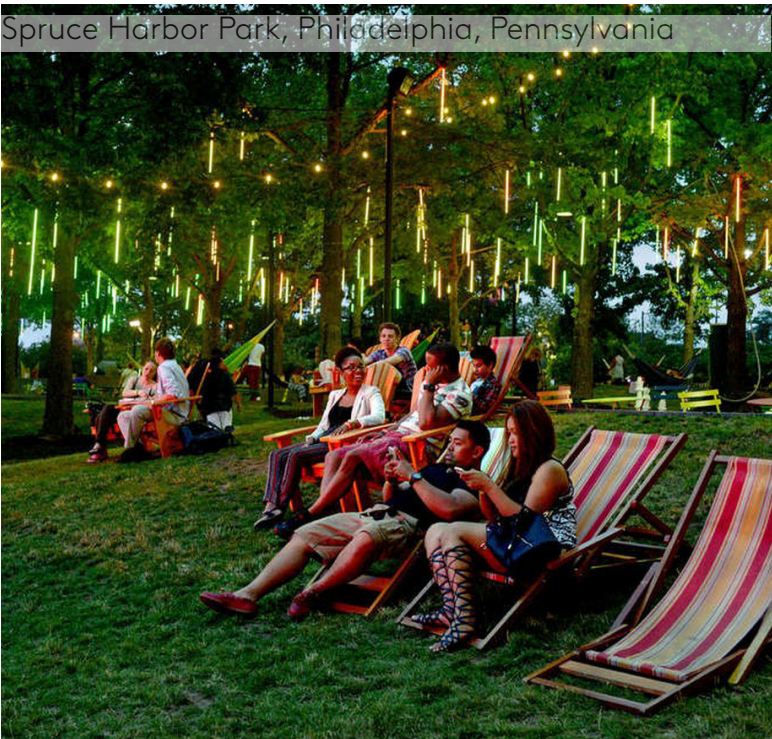
Spruce Harbor Park, Philadelphia, Pennsylvania

Unique seating such as hammocks draw in visitors and encourages visitors to spend time in the park versus passing through



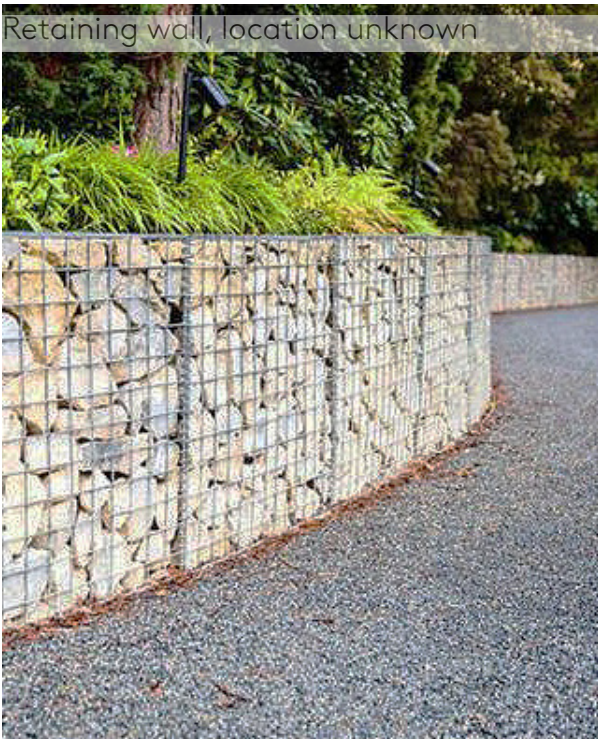
Bryant Park, New York

Windbreak of trees beyond central lawn



Spruce Harbor Park, Philadelphia, Pennsylvania

Flexible seating and dynamic light installation



Retaining wall, location unknown

Gabion retaining wall with riverrock fill



Klyde Warren Park, Dallas, Texas

Playground 'kit of parts' is an example of flexible programming

IMPROVEMENT PROJECTS

THE POINT

The Point area takes advantage of the existing elevated stair terrace at the foot of the 7th St. pedestrian bridge. This central location provides an elevated perspective of the whole island and with the addition of the proposed riverfront terraces will provide a glimpse through to the James River. This area is intended to be the heart of Brown’s Island and a central destination and meeting place.

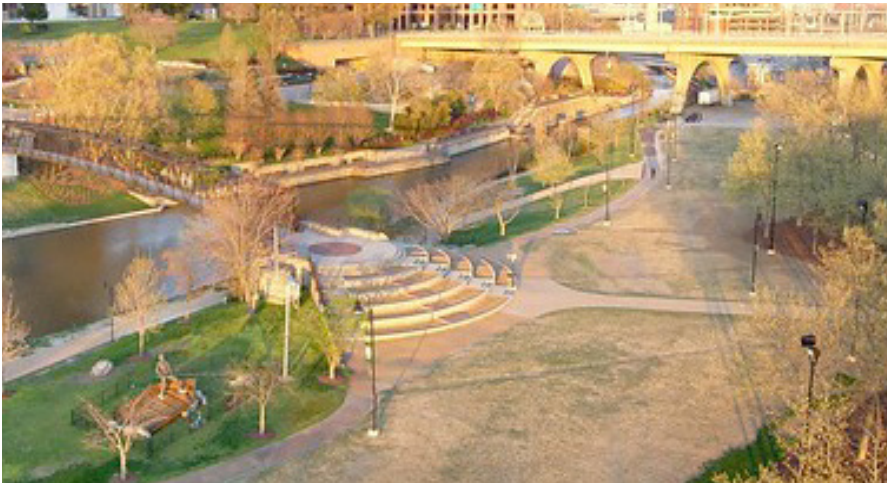
The existing stair will be modified into large deck terraces (wood or composite material) to give more modern uniform appearance. Shade sructures will be located to provide shade to part of the terraces to encourage lounging by visitors. At the foot of the terraces a pop-jet style water feature is proposed along with a row of large shade trees. The design of the water feature would ensure that a vehicular access zone remains around the main path that loops The Great Lawn and considerations will need to be given to pedestrian circulation through the space.

Another important improvement is the creation of an ADA accessible pathway down from the bridge to the island. This will ensure that all visitors can easily experience this vantage point of Brown’s Island.

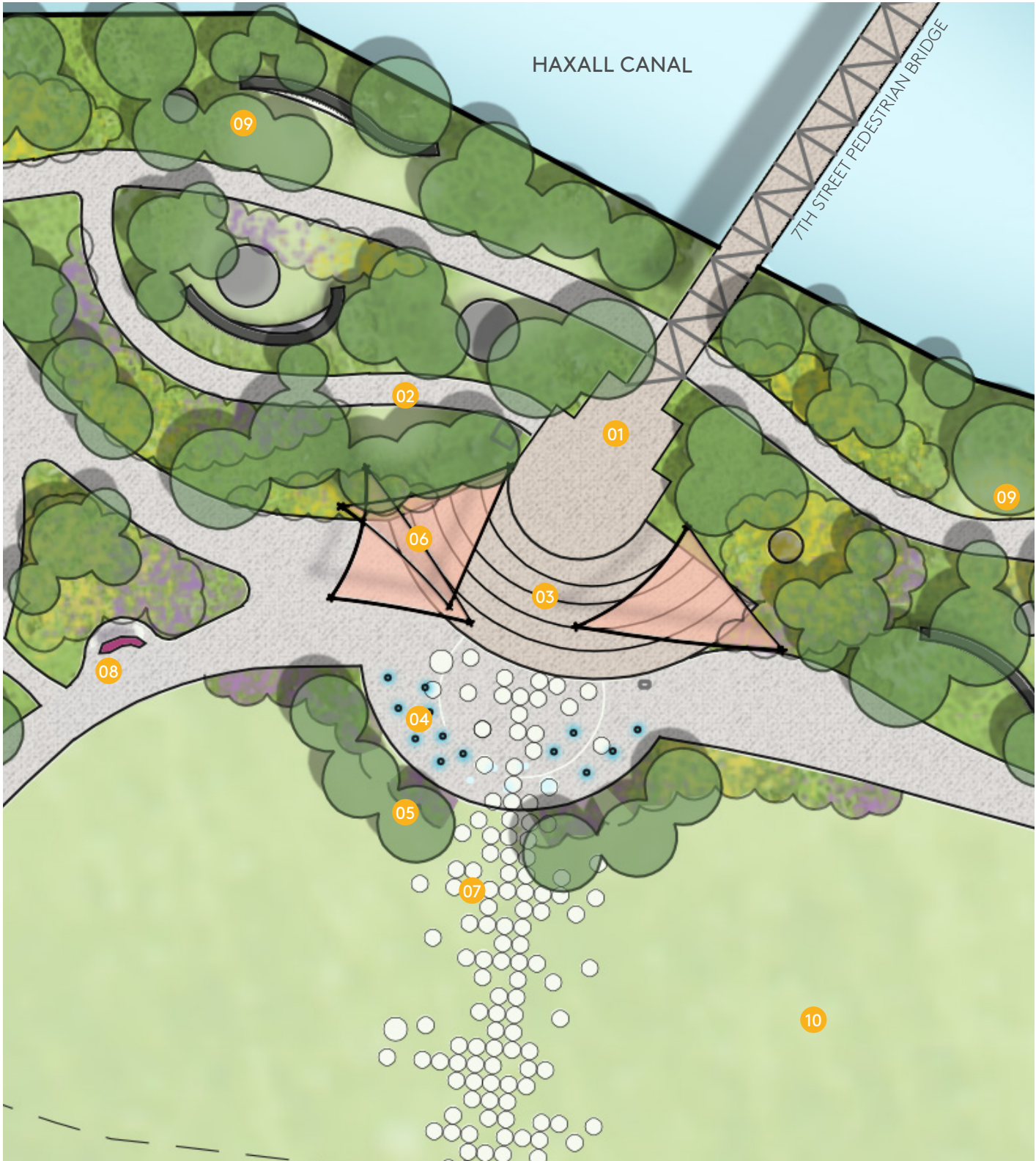
EXISTING CONDITIONS



Concrete terraces looking north towards pedestrian bridge



Aerial view of existing central stair (existing Headman statue can be seen bottom left)



SITE PLAN ENLARGEMENT - NTS

KEY FEATURES

- 01 Bridge Landing with ADA Path - the landing area of the 7th Street Pedestrian Bridge will be modified to provide an ADA accessible pathway connection down to the island along with new seating opportunities and directional signage
- 02 ADA Path - new ADA accessible pathway connecting the 7th Street Pedestrian Bridge with the island
- 03 Central Stair - the existing concrete/grass stairs are repurposed with new cladding materials to become a terraced seating and overlook area
- 04 The Spring - a pop-jet style water feature (flush to ground) in a hardscape plaza space with integrated color lighting for evening interest
- 05 Windbreak - at the edge of The Spring large specimen trees are planted to create a sense of enclosure for the fountain area, the specific tree species would be selected to ensure pedestrians can safely walk under them and see through the area
- 06 Shade Sails - tensile fabric structures strategically located provide shade to the Central Stair
- 07 Stepping Stones - patterned pavers in the grass (inspired by river rock-hopping) provide a connection to the Great Lawn and across to the River Terraces
- 08 Art or Natural Play Feature
- 09 Haxall Gardens (see pg 58)
- 10 Great Lawn (see pg 54)

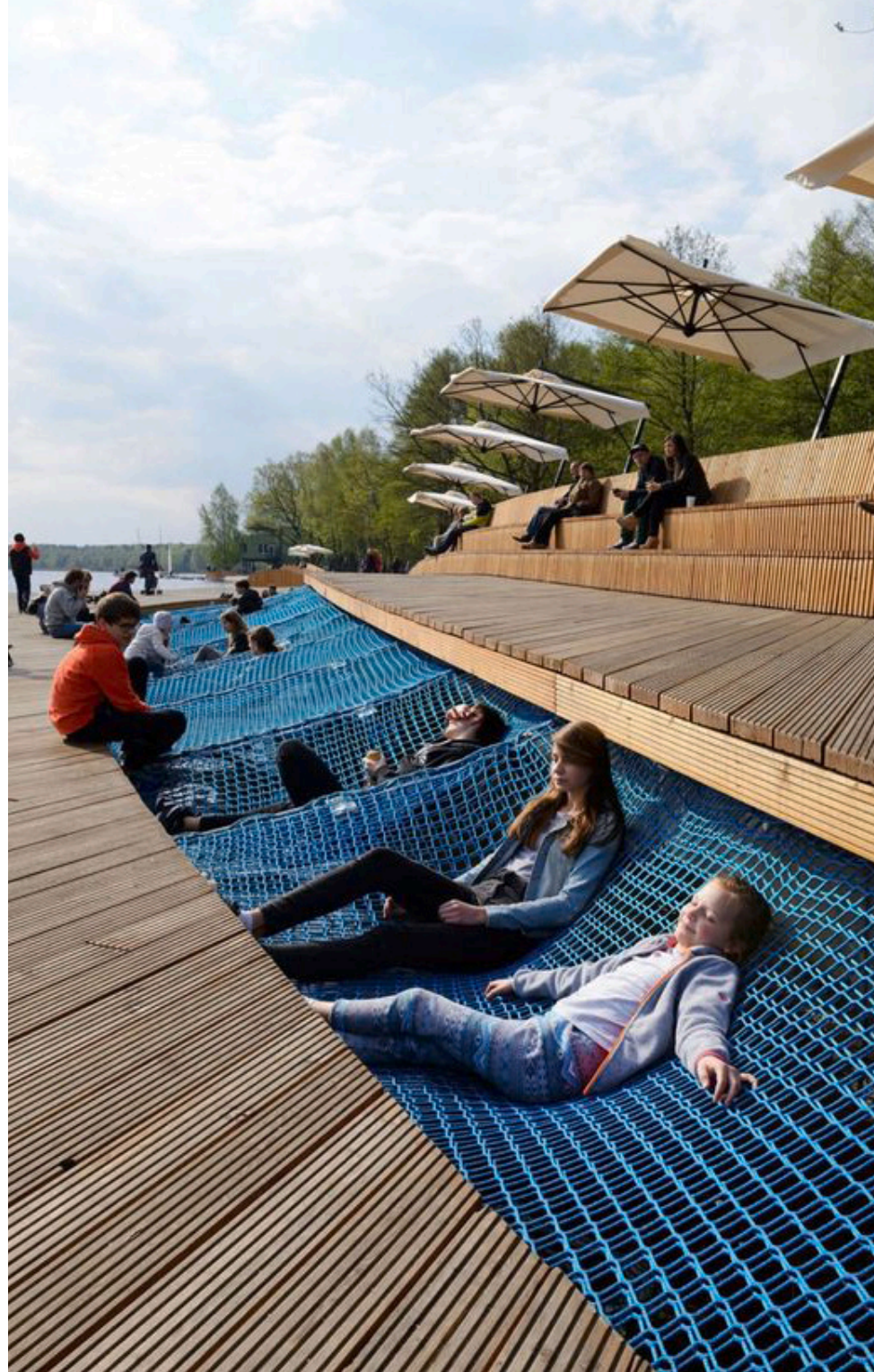
KEY MAP



PRECEDENTS

THE OVERLOOK

Paprocany Lake Shore Redevelopment, Poland



Wood-style cladding to create modern seatwall terraces

City Garden, St. Louis, MO



Fiber optic lighting at night creates an inviting space

Klyde Warren Park, Dallas, Texas



Simple design allows plaza to maintain functionality when feature is off

Fish Sculpture, location unknown



Nature inspired art in the plantings around The Spring water feature

Shade Sails, location unknown



Tensile fabric structures would be used to provide shade over the Central Stair

THE POINT

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

IMPROVEMENT PROJECTS

GREAT LAWN

The Great Lawn is a critical area of Brown’s Island for it’s role in hosting large festivals and events along the riverfront. Improvements in this area are focused on maximizing the usable lawn space and adding infrastructure that support events and vendors while also adding new experiences around the perimeter of the space that are geared more for non-event park visitors.

Improving visibility and access to the James River is a design goal for this area that will benefit all park visitors. The proposed River Terraces are a smaller scale version of the terraces proposed in the City of Richmond Riverfront Plan that will allow visitors to access the river. The Esplanade space and the widened shared use access path on the river side of the Great Lawn helps create visibility as well, particularly if the vegetation under CSX can be better cleared and maintained.

In high traffic lawn areas (event usage) various stabilizing materials and methods should be considered as well as holistic drainage and soil improvements.



EXISTING CONDITIONS - View of Great Lawn looking west from main stage location

KEY FEATURES

- 01 The Esplanade - a linear park space along the riverfront designed to accomodate vendors in an organized fashion during large events, planters and sculptural seating elements define vendor access and parking areas, see diagram on pg 65 for detailed diagram
- 02 River Terraces - hardscape seatwall terraces down to the edge of the James River, overhead protection from CSX Viaduct would be incorporated into the design
- 03 Riverfront Trail - new linear ADA trail connection from the T.Pott. to the Pipeline walk access path
- 04 Reinforced Surfacing- improved surfacing in designated vendor tent area
- 05 Stepping Stones - patterned pavers in the grass (inspired by river rock-hopping) provide visual and physical connections across the Great Lawn and help break down the scale of the space
- 06 Espanade Art Feature - a large interactive art/sculpture installation signature to Brown’s Island
- 07 Layby Areas - reinforced paving material areas for vehicle pull-off, porta potties, and vendor space during events
- 08 Paw Paw Patch - grove of native fruit trees
- 09 Haxall Gardens (see pg 58)
- 10 Back Porch (see pg 56)



SITE PLAN ENLARGEMENT - NTS

PRECEDENTS

GREAT LAWN



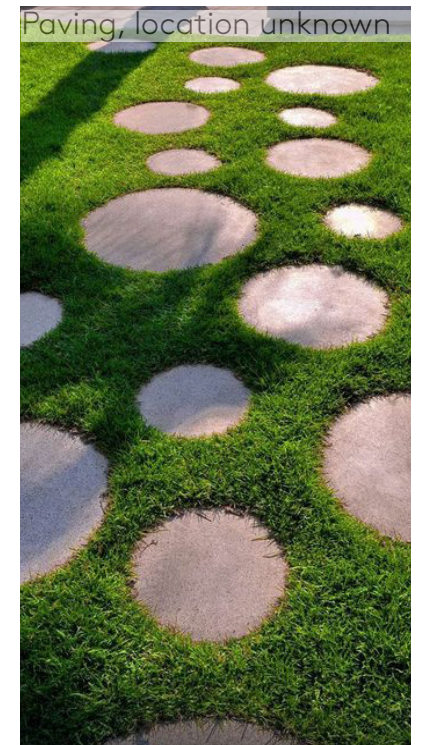
Well maintained turf areas with irrigation and excellent drainage for a variety of daily programming



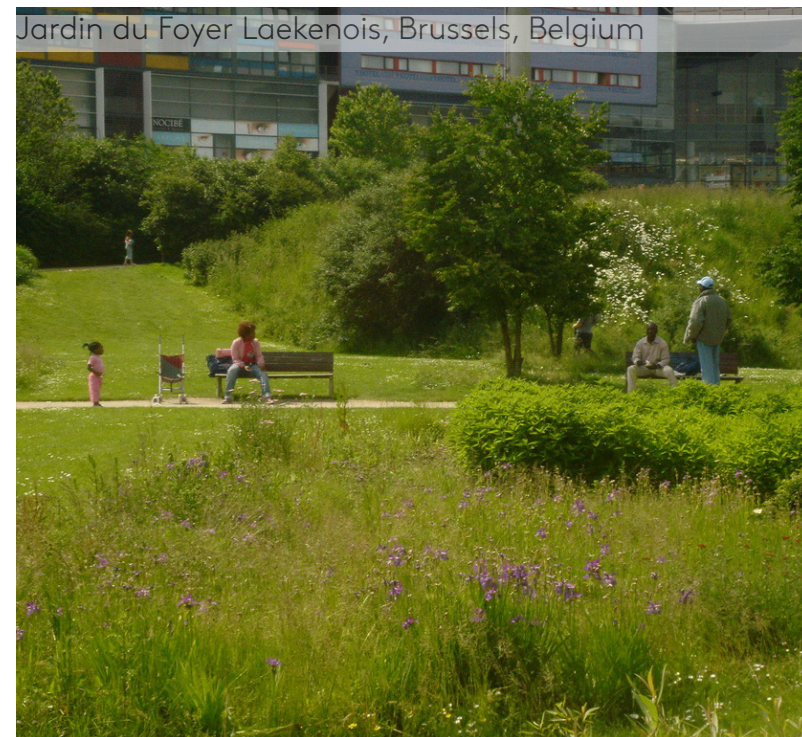
Infrastructure that support optimal vendor layouts and function



Large-scale signature art element is a destination in itself for downtown visitors



'Rock-hopping' pavers



Naturalized plantings around edge of Great Lawn



The Esplanade has a organized pattern of trees and site features to support event functions



River Terraces with integrated lighting and landscaping create a perfect complimentary experience to the T.Pott. at night

IMPROVEMENT PROJECTS
BACK PORCH

The Back Porch area of Brown’s Island is full of undiscovered potential. Since this area is fully shaded by the Manchester Bridge overhead it provides some unique opportunities not found elsewhere on the island. Also, as the main access onto the island from the east along the Canal Walk it needs to be just as welcoming and accessible as the Front Porch.

In order to ensure that this area can better serve its use as back of house space during large events only temporary and pop-up types of programming are proposed for the central space. Programmatic support buildings are proposed along the back edge of space along with screening for the Dominion substation. These buildings can house a variety of uses that support events and also daily park programs while allowing back of house activities to be carried out in an organized and neat manner.

The informal trail leading to the Pipeline walk will be upgraded and incorporated into a terraced space to help repair significant erosion that is currently present in the shoreline.

EXISTING CONDITIONS



Aerial view of Back Porch area, substation in background



Manchester Bridge support and southern view to the river



SITE PLAN ENLARGEMENT - NTS

KEY FEATURES

- 01 **Canal Walk Connection** - pathway connecting the Canal Walk, heavily used entry point onto Brown’s Island should be welcoming and have clear directional signage
- 02 **Bicycle Racks** (one 10-bike rack)
- 03 **Living Screen Wall** - a large screen wall with vegetation covering it would help screen the utility substation from the park
- 04 **Circulator Path** - a connector path running behind the support building area that connects visitors coming from the Canal Walk over to the Pipeline Terraces and Riverfront Path, connector could remain open during events to ensure public circulation around the back-of-house area
- 05 **Support Buildings** - a cluster of buildings (possibly repurposed shipping containers) that would house program support features such as office space, meeting rooms, green room, storage, workshop, vendor space, trash/recycling facilities, and restrooms
- 06 **Flex-space Terrace** - permeable paver terrace for flexible programming, serves as a stormwater management tool for bridge run-off and as event back-of-house space
- 07 **Existing Bridge Support Column**
- 08 **Pipeline Terraces** - rustic seating terraces leading down the to James River
- 09 **Proposed Riverfront Path**
- 10 **Improved Path to the Existing Pipeline Walk**
- 11 **Art or Natural Play Feature**
- 12 **Haxall Gardens** (see pg 58)
- 13 **Great Lawn** (see pg 54)

KEY MAP



PRECEDENTS
BACK PORCH



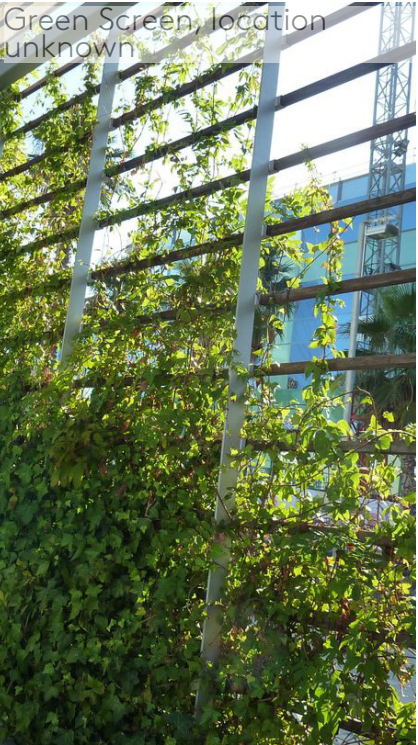
Temporary art and furnishings can create a lively community space



Seasonal pop-up recreation could inhabit the space between scheduled larger events



Simple buildings would provide space for various programming needs



Screening can be used to minimize view of substation



Large scale digital projections or other art could be incorporated into the underside of the Manchester Bridge



A cluster of container buildings could provide support space for programming such as outdoor recreation and events in addition to vendor space and general visitor comfort needs such as restrooms

IMPROVEMENT PROJECTS
HAXALL GARDENS

The Haxall Gardens area of Brown’s Island is about the celebration of art, landscape, and the Haxall Canal. This linear landscape along the canal edge is already a destination for visitors because of its shady and peaceful character. Suggested improvements build on that character and bring in art, colorful seating and lighting, and botanical specimens to enhance what’s already there.

There is a desire to provide more access to the canal and a new dock/deck area is proposed to bring visitors closer to the water and potentially to watercraft rentals. Floating art and lights, art on the undersides of bridges, and floating wetlands are intended to enliven the canal and encourage paddlers to explore.

The plantings of Haxall Gardens will build on the botanical makeover work that Venture Richmond has begun along other areas of the canal. The focus will be on using native pollinator friendly plants and removing any invasives. Additionally, the majority of turf grass will be removed from the sloped banks in this region and replaced with groundcovers and native grasses to improve water quality and eliminate the environmental impacts of mowing.

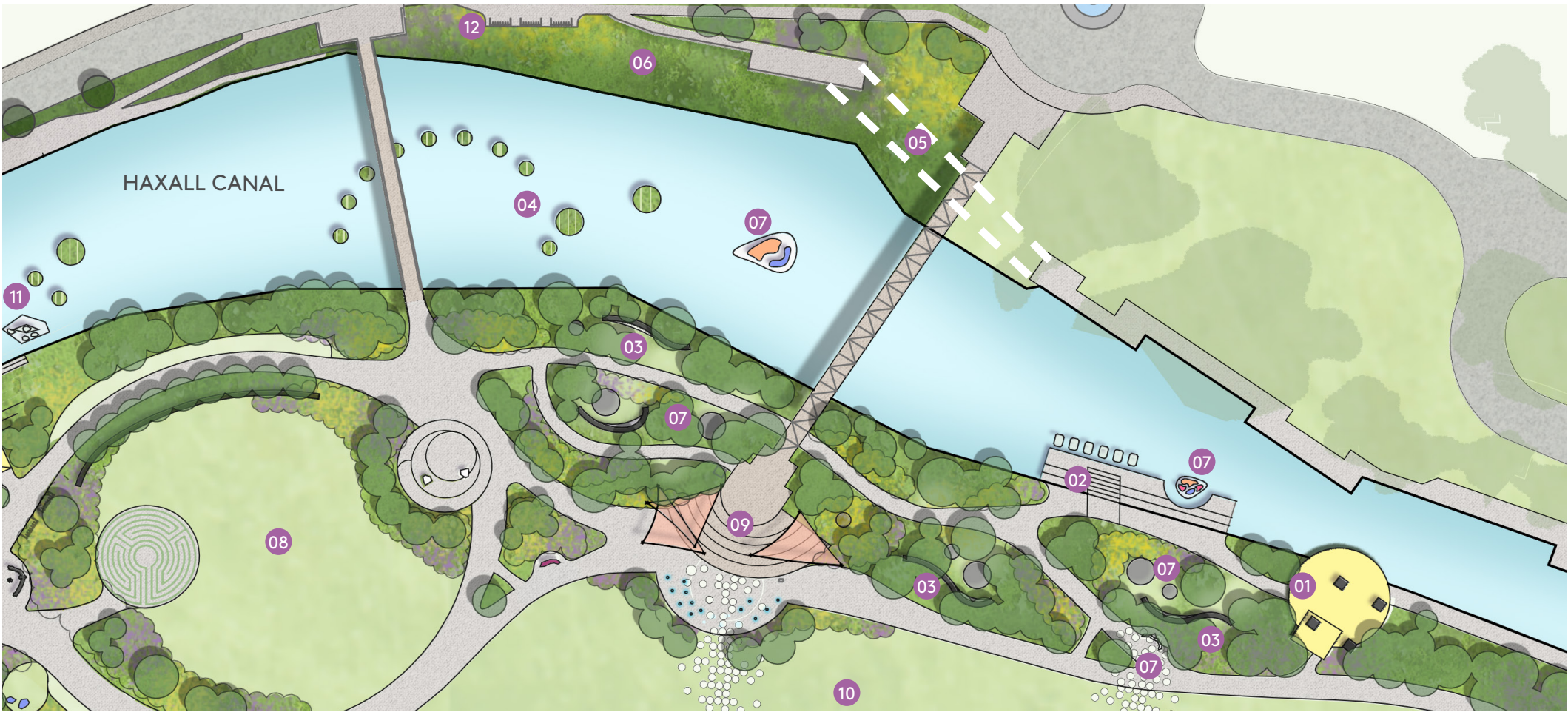
KEY FEATURES

- 01 **The Nest** - an elevated gathering space that uses the existing bridge pylons as support, inspired by Osprey nests along the river, this elevated platform can be used for informal gathering and would have a great view of the main stage area during large events, fully ADA accessible
- 02 **Canal Dock** - linear dock/deck space along the Haxall Canal for water access and canal viewing, possible watercraft programming (pedal boat rentals, etc) could be at this location
- 03 **Curvilinear Seatwalls** - sculptural seatwalls woven through the hillside landscaping, for sitting and for informal play, colorful and internally lit
- 04 **Floating Wetlands**- floating planted wetlands exhibit to improve water quality with interpretive/educational exhibit
- 05 **Future Accessible Canal Walk Connector** - denotes location of future pathway to connect the break in the canal walk on the north side
- 06 **Hillside Landscape and Monarch Waystation** - existing steep hillside would be planted with native milkweed plants to support Monarch Butterflies along with meadow grasses, perennials, and shade trees
- 07 **Art or Natural Play Feature**
- 08 **The Clearing** (see pg 50)
- 09 **The Point** (see pg 52)
- 10 **Great Lawn** (see pg 54)
- 11 **Relocated Headman Sculpture** (see Front Porch pg 48)
- 12 **Bicycle Racks** (three 10-bike racks)



EXISTING CONDITIONS - Haxall Gardens area along the canal looking west

KEY MAP



SITE PLAN ENLARGEMENT - NTS

PRECEDENTS
HAXALL GARDENS



Floating wetlands in the canal provide opportunities for education about water quality and provide visual interest in the canal



Branded watercraft in the canal for recreation



Naturalized native plantings along the hillside will provide pollinator habitat and seasonal landscape interest while reducing the amount of turf grass to be maintained



Inspired by an Osprey nest, 'The Nest' would provide a unique gathering space and overlook



Floating art exhibits in the canal create visual interest and night



Whimsical serpentine seatwalls in the landscape are functional elements that also encourage play



Simple art projects that engage visitors of all ages

IMPROVEMENT PROJECTS

STURGEON COVE

The Sturgeon Cove area of Brown's Island is technically off-island but it is a heavily used area adjacent to the island that needs to be thoughtfully considered. The existing boat launch and beach area are heavily used by visitors for river access and the existing Bayscapes Garden is an excellent exhibit on Chesapeake Bay friendly plantings. Proposed improvements in this area expand upon these existing features and bring in strategic new elements to enhance the area.

The Bayscapes concept will be expanded into a larger more intensively planted area and a pavilion space that will provide opportunities for gathering and outdoor classroom use. The boat launch will be rebuilt and enhanced for durability and safety. Additional area alongside the launch will be developed into gathering spaces that can be used for programming.

Creating a safe and clear pedestrian/bike access though this area and along Tredegar St. is also a significant component of the design.

EXISTING CONDITIONS



Aerial view



Looking west from the T.Pott. towards the boat launch



SITE PLAN ENLARGEMENT - NTS

KEY FEATURES

- 01 **River Pavilion** - shade structure with linear seating benches and built in storage for programming
- 02 **River Pavilion Deck** - deck space at the River Pavilion for group gatherings, events, or outdoor classroom use
- 03 **Bayscapes Garden** - revitalized Bayscapes Garden space using native plants that are Chesapeake Bay friendly, with interpretation and educational information for visitors
- 04 **The Launch** - rebuild existing boat launch to current use standards
- 05 **Terraces at The Launch** - rustic natural terraces in the sloped shoreline adjacent to the boat launch, can be used for watercraft instruction groups or other learning opportunities
- 06 **Shared Use Central Path** - improve and widen the central pedestrian pathway that connects Belle Isle to Brown's Island, to include widening the pinch point where it meets the Haxall Headgate
- 07 **Program Support Space** - designated area for storage and support needs related to future programming
- 08 **Tredegar St.** - create a broad pedestrian crossing across Tredegar St. to connect to the ACWM plaza
- 09 **Access Route** - maintain a clear route for routine beach access for dredging, design would ensure features in this area support weigh of machinery
- 10 **Art or Natural Play Feature**

KEY MAP



STURGEON COVE

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

PRECEDENTS
STURGEON COVE



Seating terraces next to the boat launch allow for river viewing and gathering space for group recreation instruction



Large scale nature play element incorporated into the planting areas, educational opportunity about native wildlife



Boat and watercraft launch



Small observation deck area with interpretive signage



Naturalized native plantings surround the walkways and pavilion



Open air linear pavilion with bleacher seating provides shade without creating a large covered space that can be dark in the center, program storage below the seating



Natural play elements can be created from found wood and boulders

STURGEON COVE

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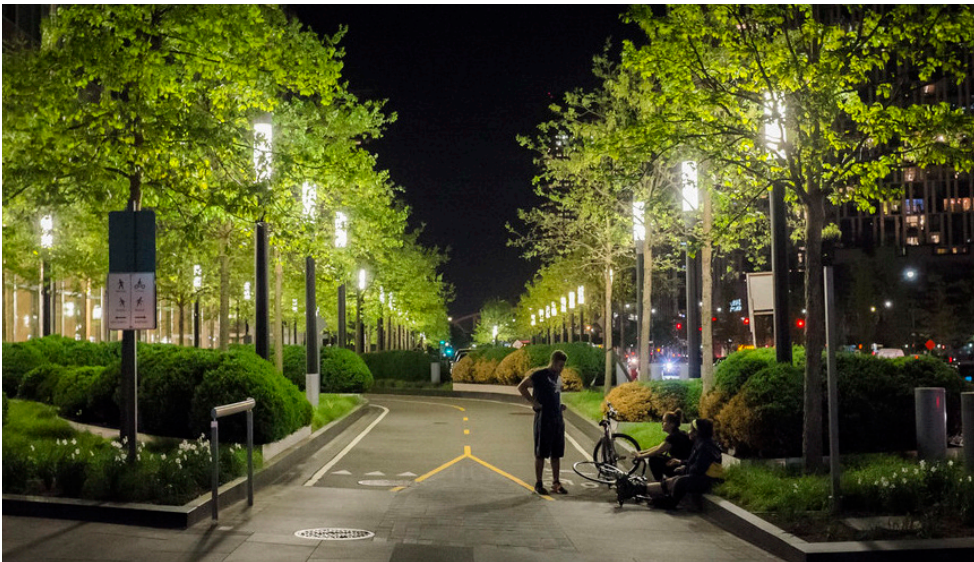
PROGRAMMING

VISITOR COMFORT

Providing essential and desired park features that increase the comfort level of users is vital to the improvement plan. Safety features, accessible upgrades, and passive and active elements for children of all ages will need to find a home on Brown’s Island for it to continue being a successful park in the future. The following lists begins to look at numerous features that will find a home throughout Brown’s Island.

SUGGESTED FEATURES:

- 1. ACCESSIBLE WALKWAYS
- 2. PERMANENT RESTROOMS
- 3. FLEXIBLE SEATING OPTIONS
- 4. EMERGENCY CALL BOXES
- 5. DRINKING FOUNTAINS/BOTTLE REFILL STATIONS/PET BOWLS
- 6. WATER MISTERS
- 7. POP JET WATER FEATURE
- 8. HAMMOCKS
- 9. VENDORS (FOOD, BEVERAGE, ACTIVITIES)
- 10. SHADE (STRUCTURES, TREES, SAILS)
- 11. GUARDRAILS
- 12. SAFER PEDESTRIAN WAYS
- 13. TRELLIS SWINGS
- 14. WATER ACCESS POINTS
- 15. INTERACTIVE ART ELEMENTS
- 16. UNIQUE FEATURES FOR KIDS
- 17. INTERPRETIVE SIGNAGE AND OPPORTUNITIES FOR EDUCATION
- 18. BIKE LOCKERS/RACKS
- 19. PEDESTRIAN SCALE LIGHTING
- 20. VISUAL BRANDING/WAYFINDING
- 21. PET WASTE/TRASH STATIONS
- 22. SAFETY EQUIPMENT THAT SUPPORTS RECREATIONAL CANAL ACCESS

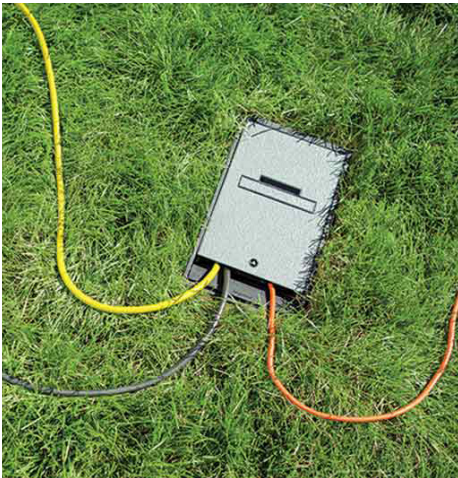


VENDOR & EVENT SUPPORT

The organized events on Brown’s Island, offered by Venture Richmond and their partners, will continue to be a major part of what makes Brown’s Island what it is today. Combined with the vendor survey done throughout the discovery phase - the following list begins to look at all the additional items needed to help continue to run successful and well-operated events.

SUGGESTED FEATURES:

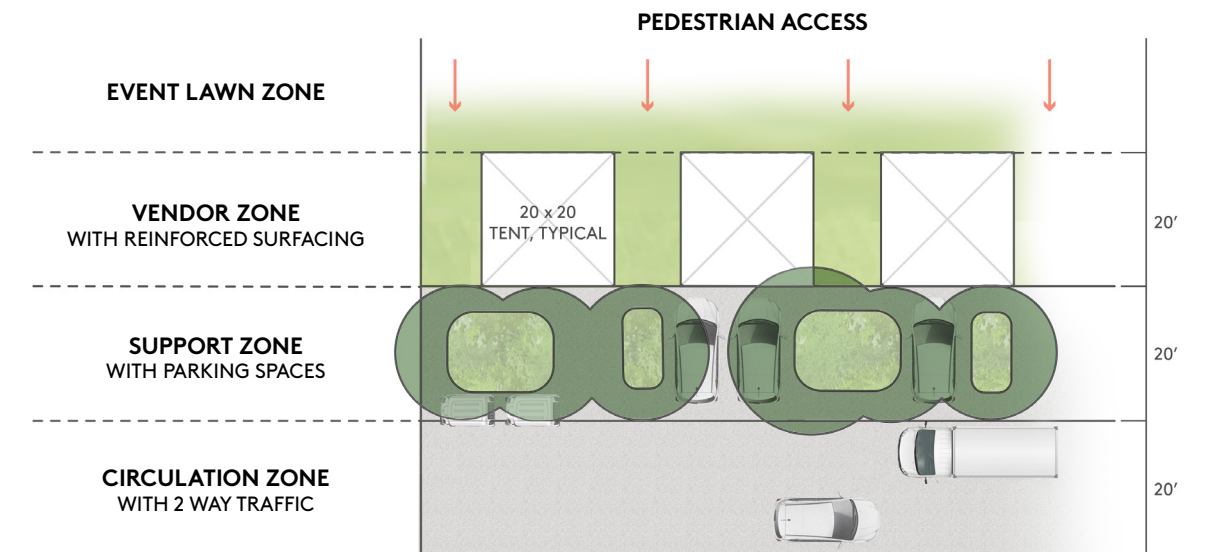
- 1. WIDER VEHICULAR SERVICE ROUTES
- 2. ELECTRICAL HOOKUPS
- 3. GREEN ROOM (INTERIOR SPACE)
- 4. BACK OF HOUSE SPACE (INTERIOR)
- 5. BACK OF HOUSE SPACE (EXTERIOR)
- 6. RESTROOMS
- 7. DRINKING FOUNTAINS/BOTTLE REFILL STATIONS/PET BOWLS
- 8. REINFORCED TURF
- 9. LAYBY AREAS
- 10. TENT SLEEVES
- 11. MULTIPLE STAGE LOCATIONS
- 12. STRUCTURES THAT CAN BE DECORATED AS PART OF EVENTS
- 13. WATER HOOK-UPS
- 14. VISUAL CONNECTION TO THE RIVER
- 15. STRATEGIC STORAGE LOCATIONS
- 16. CLEAR GATEWAYS AND WAYS TO SECURE AND MANAGE SITE ACCESS
- 17. APPROPRIATE SELECTIONS OF TREE SPECIES AND PRUNING TO MAINTAIN CLEAR ACCESS WAYS
- 22. SAFETY EQUIPMENT THAT SUPPORTS RECREATIONAL CANAL ACCESS



PROGRAM VISITOR/VENDOR SUPPORT



LAYOUT CONCEPT



- Allows for sufficient below grade tree protection within hardscape areas
- Allows for vehicular access and tent setup on either side of tree row
- Allows for appropriate waiting line distribution and service/emergency access

PROGRAM EVENT TEST FIT

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

IMPORTANCE OF VISITOR ENGAGEMENT FEATURES

Brown’s Island is already an important park for the City and functions well for large events and festivals. It also serves as an urban greenspace that is used daily by visitors who live and work downtown and for JRPS users crossing the T.Pott. But there is a great opportunity to add features to the park that will engage visitors and enhance its appeal, particularly outside of events and festivals.

‘Project for Public Spaces (<https://www.pps.org/article/the-power-of-10>) has developed a concept called the Power of 10+ that is used to evaluate and facilitate Placemaking at multiple city scales. They believe that cities succeed or fail at the human scale - the place scale - and this scale is often overlooked. The Power of 10+ shows how paying attention to the human experience when building a city’s destinations can have immediate and widespread impacts.

The idea behind this concept is that places thrive when users have a range of reasons (10+) to be there. These might include places to sit, play features to enjoy, art to touch, music to hear, food to eat, history to experience, and people to meet. Ideally, some of these activities will be unique to that particular place, reflecting the culture and history of the surrounding community.’

Keeping that concept in mind we mapped out the types of engagement features proposed on Brown’s Island and their locations to ensure that they are arranged and layered in a way that creates synergy. This will not only draw visitors further into the island - but it will encourage them to stay a while and to hopefully make many return trips. The goal is to make experiencing Brown’s Island accessible to all and to have a range of features that appeal to a wide variety of park visitors.

Learning Opportunities and Historic Interpretation

Learning opportunities whether formal or informal and historic interpretation already exist on Brown’s Island and can be expanded upon. Additional signage, exhibits, and interpretation around the island’s history and that of the Haxall Canal would be one focus of future additions. Also, because of the natural setting that surrounds the island, an additional focus would be on opportunities that interpret the James River, native flora/fauna, and general environmental themes related to the health of the Chesapeake Bay Watershed.

Art Installations and Natural Play Features

Incorporating art installations and natural play features into Brown’s Island is a way to engage visitors of all ages and backgrounds. Art and nature are universal languages that can be used to bring people together in conversation but also allow for individual experience and reflection. There is room on Brown’s Island for many different scales and typologies of art installations to reflect Richmond’s broader art community. Also, one large signature/branded art installation that is dynamic and playful (such as the Flying Pig from Smale Riverfront Park in Cincinnati - pictured at right) is envisioned that would be a destination and photo opportunity for visitors to the island. Also, natural play features fit into the broader James River setting of the island and can be woven in throughout the landscape areas in a more informal way.

Gathering Spaces and Prospect Points

Providing unique spaces for visitors to spend time in and that offer unique perspectives of Brown’s Island, the Haxall Canal, and the James River are a critical piece of this improvement plan. Ensuring that a variety of small and large gathering spaces, both formal and informal, are included is important. Also, providing flexible spaces with moveable furnishings offers visitors the opportunity to put their personal stamp on the space and leave a visual story for others to see. Creating spaces that get very high and offer prospect or overviews of the space is helpful for orientation. These spaces along with opportunities to get down very low to the edge of the river will provide a range of interesting vantage points and experiences.



Historic features and interpretation



Large-scale signature art installations that are engaging



Nature inspired play features and art



Educational features that engage the community



Flexible/moveable furnishings in bright colors



Unique informal gathering spaces

PROGRAM VISITOR ENGAGEMENT



VISITOR ENGAGEMENT FEATURES

Learning Opportunities and Historic Interpretation:

- 01 Headman Sculpture (relocated)*
- 02 Batteau Exhibit
- 03 History Marker (relocated) *
- 04 Bayscaping Intrepretation
- 05 Three Days in April Exhibit *
- 06 Mechanical Relic (relocated)*
- 07 Emancipation Monument **
- 08 James River Health Intrepretation
- 09 T.Pott. Signage Relic (relocated)*
- 10 Haxall Canal Walk Signage*
- 11 Monarch Butterfly Waystation

Art Installations and Natural Play Features:

- 01 The Mill*
- 02 Labyrinth Mural on ex. helipad
- 03 Signature Interactive Sculpture
- 04 Trellis Swings
- 05 Pop-jet Water Feature
- 06 Native Fauna Play Sculpture
- 07 Pipeline Natural Play Feature
- 08 Nature Play at The Nest (Osprey)
- 09 T.Pott. Natural Play Feature
- 10 Haxall Canal Floating Art
- 11 Bridge Art and Light
- 12 Paddling River Play Feature

Gathering Spaces and Prospect Points:

- 01 The Nest
- 02 Central Stair
- 03 Serpentine Garden Seatwalls
- 04 Terraces/Water Access
 - A. Pipeline
 - B. River
 - C. Canal
 - D. Canal Dock
 - E. The Launch
- 05 Potterfield Balconies
- 06 Esplanade Sculptural Seating
- 07 Hammock Woods
- 08 River Pavilion

*denotes existing feature

**denotes pending construction

PROGRAM VISITOR ENGAGEMENT

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019



LANDSCAPE CHARACTER OVERVIEW

Brown’s Island’s landscape character can be organized into five main archetypes or regions: Garden, Lawn, Grove, Park, and Wild. Each region has it’s own style that is defined primarily by its unique plant palette but also by it’s hardscape features, level of maintenance, and type of user experiences.

Overall goals for the island are to increase the amount of native plantings and pollinator supportive plant species while reducing the amount of turf grass and water consumption where possible. Increasing the amount of shade using strategically placed canopy trees is preferred to additional ornamental/flowering trees. Providing seasonal interest through flower, foliage color, and plant form is also desirable island-wide. Ensuring that planting soil is healthy and uncompacted and free from drainage issues is key to supporting survival of new plantings.

Garden

This region has the most intensively landscaped areas with a variety of ornamental and seasonally interesting shrubs, perennials, and flowering treess. The majority of species used in this area should be native and suited to the riverfront environment. Over time the existing flowering cherry trees could be replaced with comparable native trees such as Serviceberry, Hawthorne, and Dogwood; canopy trees such as River Birch, Tulip Poplar, Black Gum, and Hackberry can be mixed in to create more shade. Ground plane plantings include large sweeps of layered pollinator friendly flowering plants and meadow plantings that can be used to replace turf grass on sloped areas. A specific planting project for this area includes a Monarch Butterfly Waystation - planting a large quantity of Swamp Milkweed as a food source for migrating butterflies.

Lawn

The main lawn areas on Brown’s Island are Bermuda grass turf and due to the intense foot traffic of large events that species of grass is the best choice currently available. A species of grass that maintains some green color through the winter would be preferable in the future if feasible. There are drainage issues in some of the larger lawns areas that could likely be resolved with regrading (creating a crown) and heavily amending soil to increase drainage.

Grove

The focus in the Grove is on the addition of large canopy trees that will provide shade and structure to the island. Species need to be carefully selected to ensure that they will grow quickly and have a tall upright canopy. Sweetgum (Rotundiloba), London Planetree, Tulip Poplar, and White Oak are good canopy tree options. Conflicts between tree branches and vehicular access areas need to be avoided. Trees in Grove regions will typically need to be limbed up and maintained to provide 10’+ of clear height below for visibility. Ensuring that proper soil and planting techniques are used to ensure tree survivability will be important - structural soils or silvacell type planting structures could be used to protect tree root zones and improve drainage. Underplantings should be selected that do not have aggressive roots or high water needs.

Park

The Park regions of the island are a mix of hardscape areas with defined planting beds and islands. The trees in these areas should be chosen from the same palette as the Grove and maintained with the same recommendations if they are near main pathways. Shrubs and perennials should be selected that are high-impact due to interesting blooms, textures, or other features but also very heat and drought tolerant. If annual plantings are desired to provide additional seasonal impact this region would be where to incorporate them.

Wild

The main goals in the Wild region are to enhance the existing plantings by removing invasive species, adding native plantings to replace them, and maintaining vegetation for visibility and access. Many of these areas are in the RPA zone of the Chesapeake Bay and those regulations need to be considered as plant are removed or added. A specific planting project for this area includes creating a Paw Paw Patch of native fruit trees on the edge of the island.



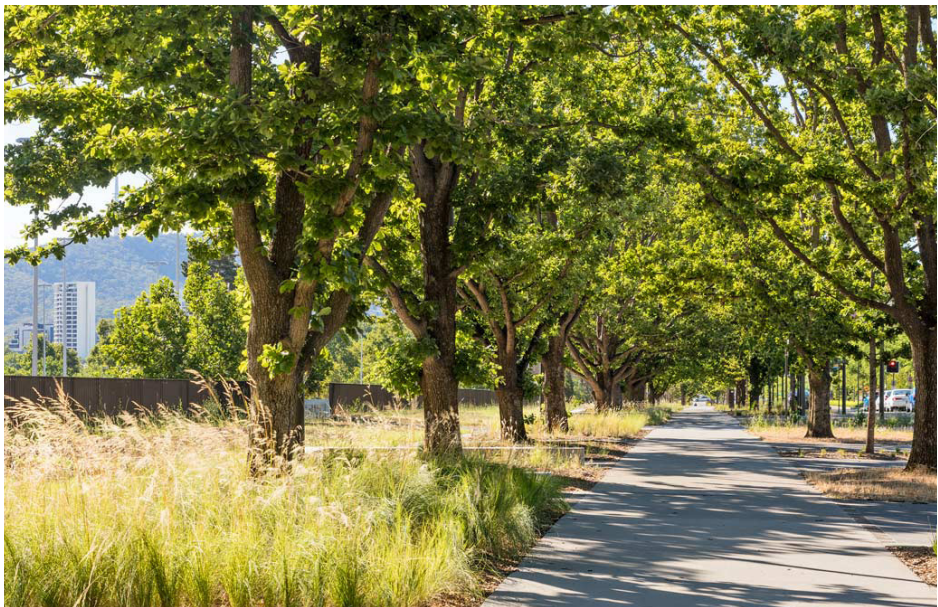
Seasonal interest and layered plantings - Garden



Meadow plantings on slopes to eliminate turf - Garden



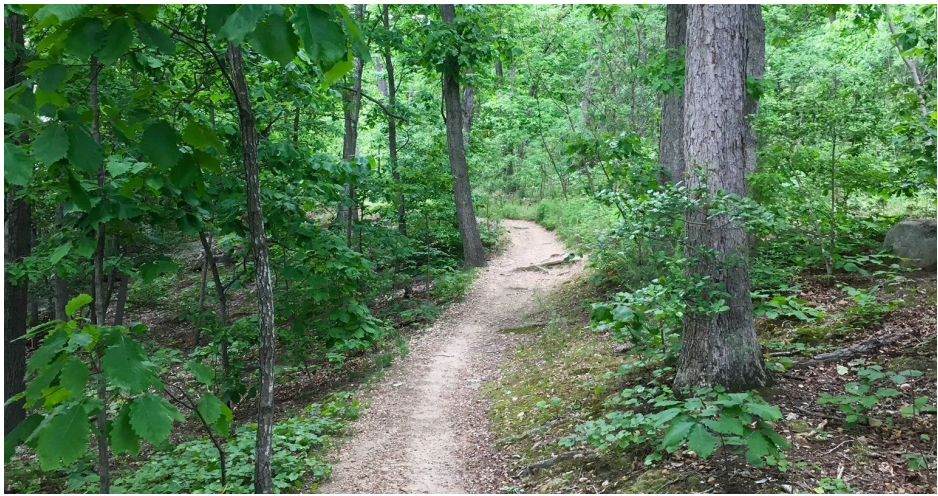
Native plantings and textural interest - Garden



Large shade trees with groundcover plantings below - Grove



High impact native plantings in hardscape areas - Park



Natural landscapes - Wild

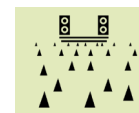


LANDSCAPE CHARACTER



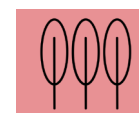
GARDEN

- Flowering trees
- Under canopy experience
- Small gathering spots



LAWN

- Large open areas for events and festivals
- Drainage improvements and reinforcement where needed



GROVE

- Large specimen trees
- Under canopy experience
- Opportunity for hammocks or light installations.
- Used to define spaces.



PARK

- A mix of hardscape and plantings
- Services and infrastructure areas
- Retail and support services such as restrooms
- Major wayfinding elements



WILD

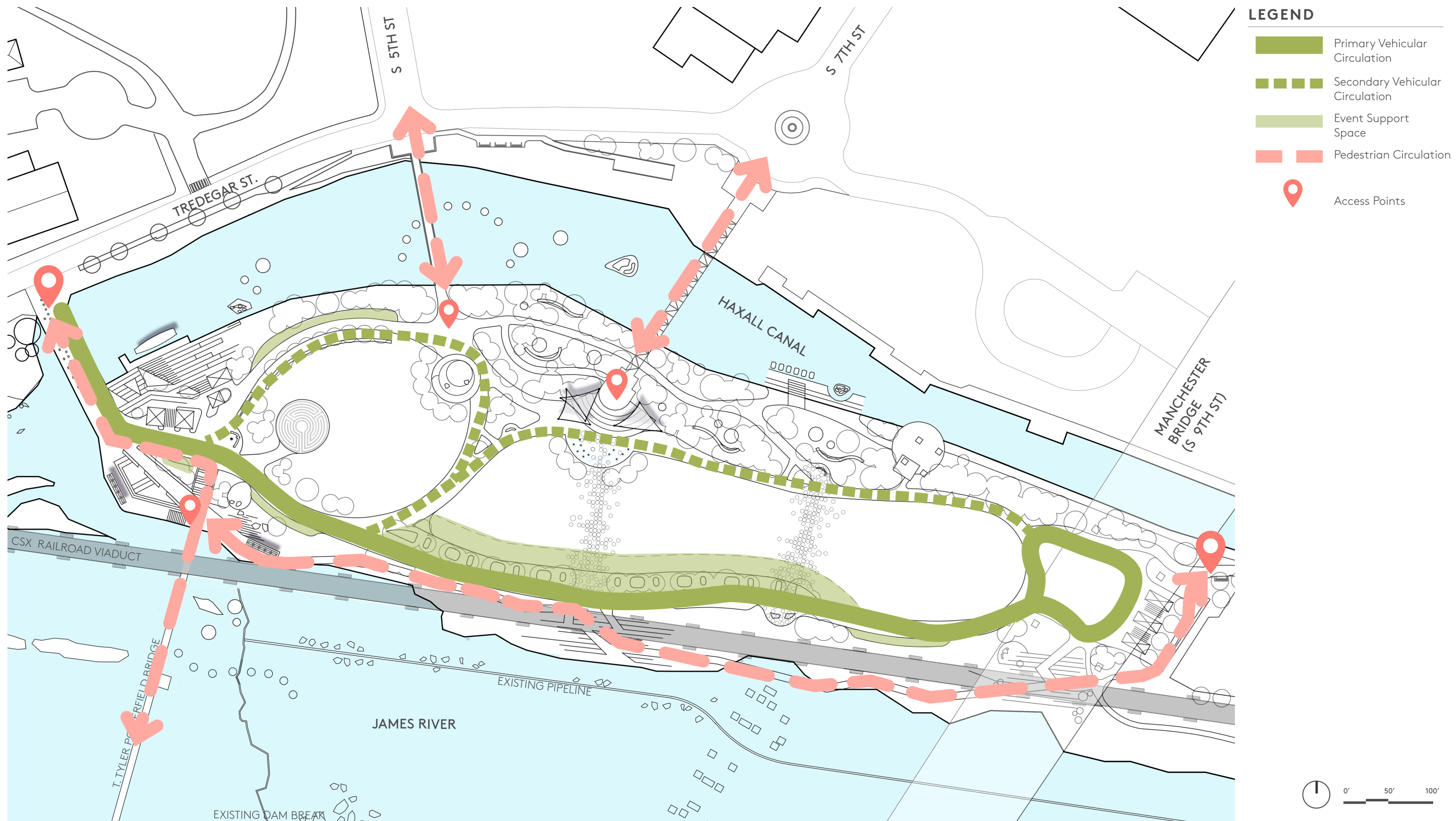
- Maintain the wild character of river edge vegetation
- Enhance native plantings and remove invasives



PROGRAM LANDSCAPE CHARACTER

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PROGRAM EVENT CIRCULATION/ACCESS

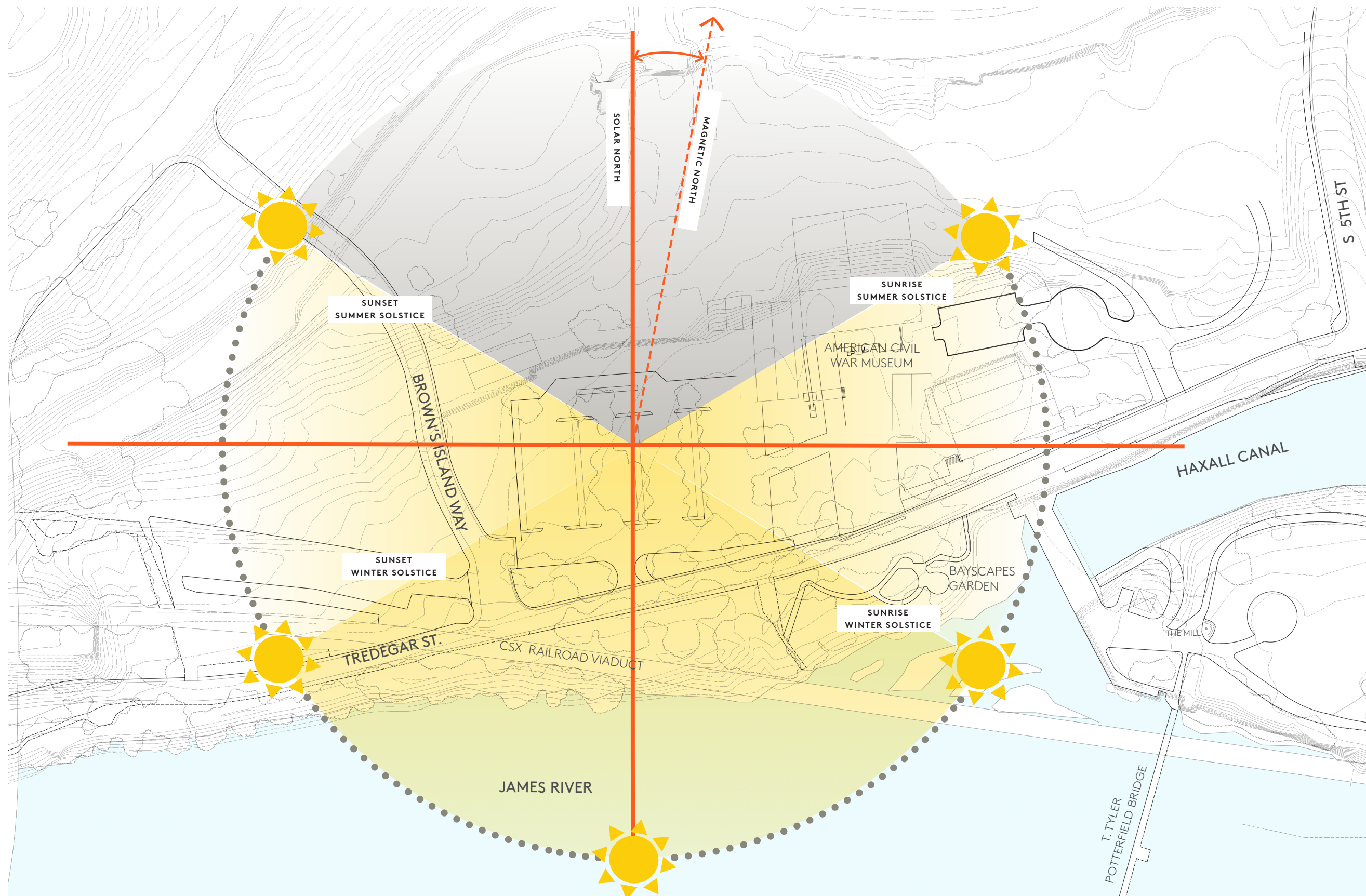
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TREDEGAR STREET



TREDEGAR STREET AERIAL

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SOLAR DECLINATION

10° 15' W +/- 0° 21' changing by 0° 0' E per year

*calculated based on the current World Magnetic Model (WMM) for Richmond, VA:

Latitude: 37° 32' 26" N
Longitude: 76° 24' 9" W
Source: <https://www.ngdc.noaa.gov/geomag/calculators/magcalc.shtml>



SITE ANALYSIS SOLAR

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019





LEGEND

- Groundcover/Lawn
- Treeline
- River/Canal
- Path System
- Existing Structures
- Roads
- CSX
- Key Views
- Main Circulation
- Secondary Circulation
- Tertiary Circulation

KEY VIEWS

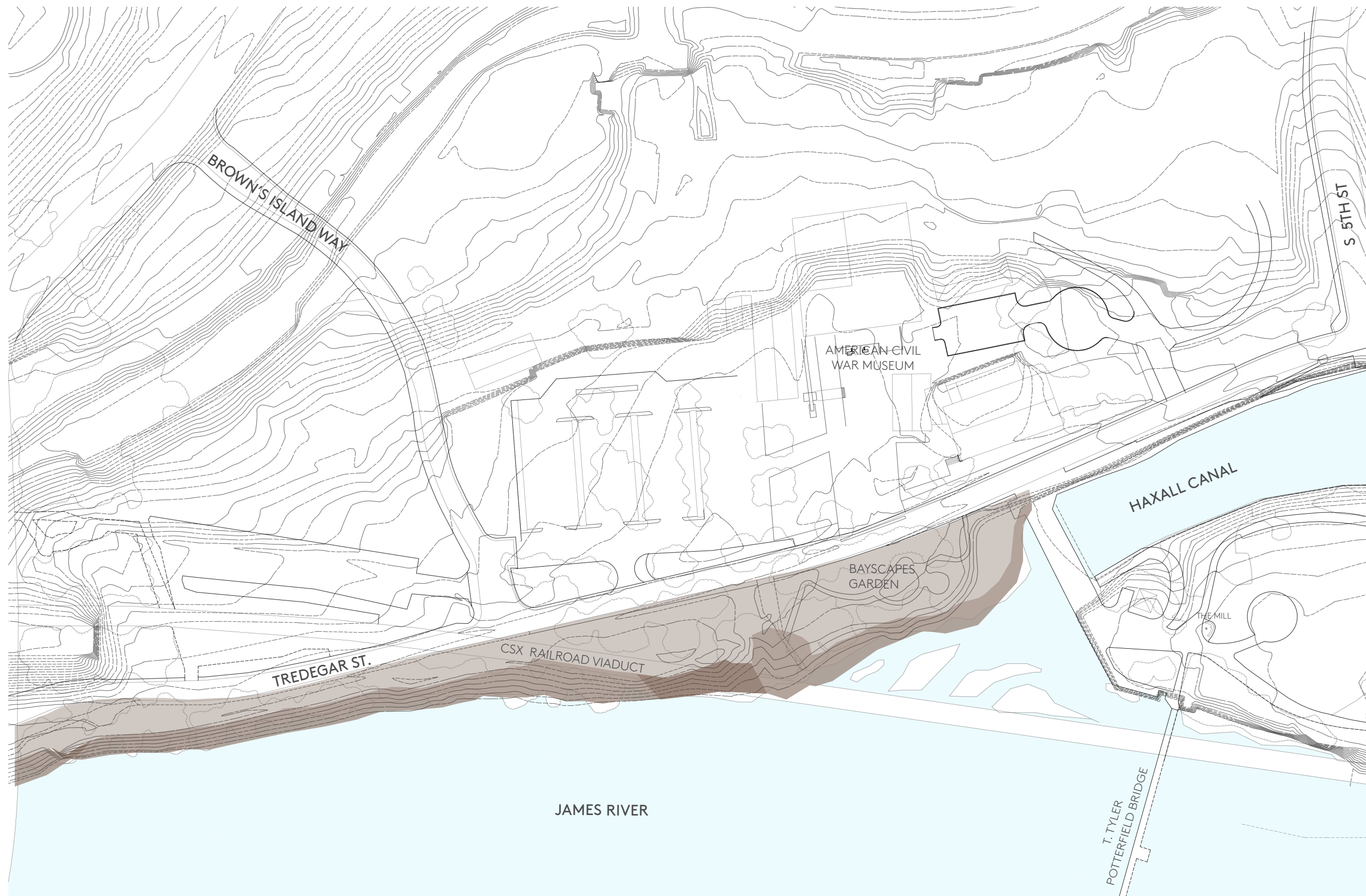
- 01 Broad River View
- 02 Beach and Trestle View
- 03 Boat Launch View



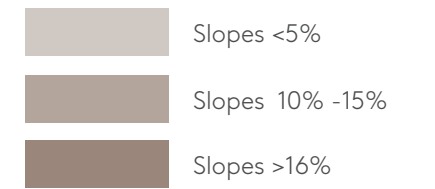
SITE ANALYSIS VIEWS + CIRCULATION

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019





LEGEND



SITE ANALYSIS SLOPE

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IMPROVEMENT PROJECTS

TREDEGAR STREET

As the main vehicular way adjacent to Brown's Island, Tredegar Street's design is important to the function of the island. While specific design proposals for Tredegar St. are out of the scope of this study general suggestions for improving pedestrian connectivity and safety are included.

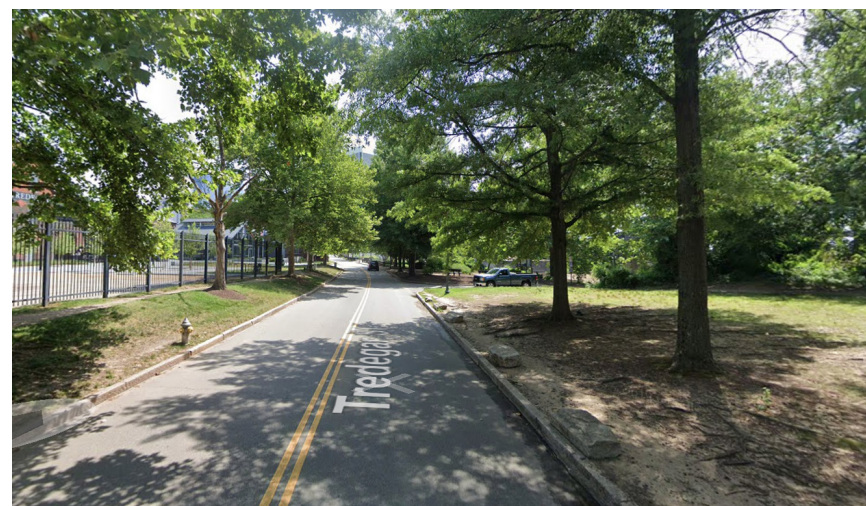
Overall, the sidewalk and path infrastructure along Tredegar St. is challenging to maneuver as a pedestrian or on a bike. Better connectivity (filling in gaps in sidewalks) and clearly defining pedestrian ways (crosswalks, signage, etc) would greatly improve access and safety. Traffic calming measures such as speed humps could also be considered. There are also opportunities to increase streetscape elements including trees and plantings, site furnishings, signage, art, and lighting to improve the pedestrian experience.

Tredegar St. could potentially be closed (or limited) to vehicular traffic during certain events or on weekends to create a safe pedestrian space. Or if it's design could be approached as a Bike-Walk Street which would prioritize pedestrians and cyclists over vehicles.

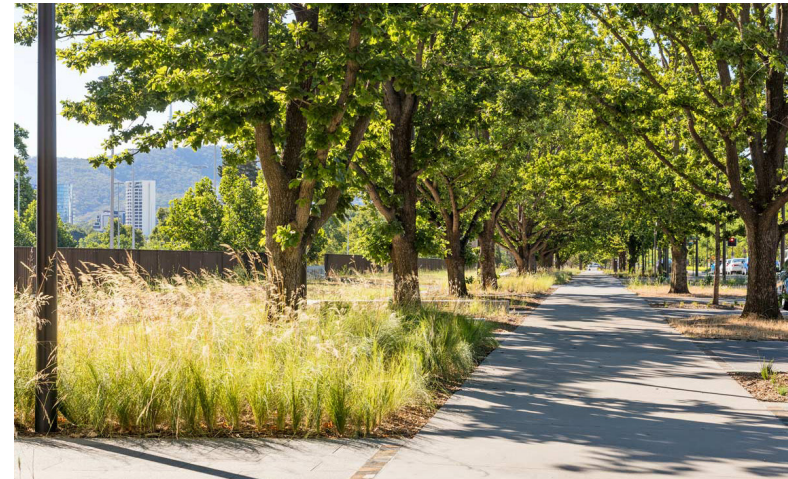
EXISTING CONDITIONS



5th St. and Tredegar intersection looking south



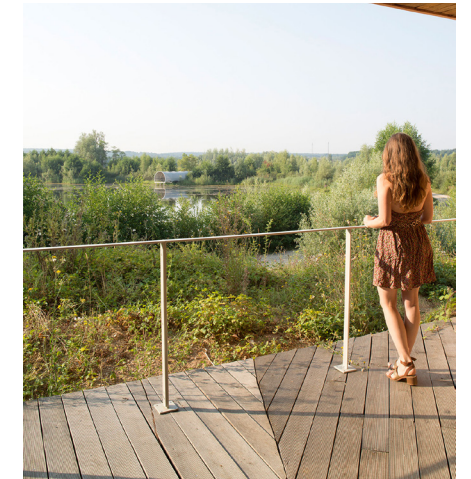
Looking east towards boat launch (on right)



Canopy trees for shade with low plantings for visibility



Safe pedestrian crossings at intersections



Observation/overlook decks

TREDEGAR WEST OF BOAT RAMP - NTS



- A** Improvements to existing stair access to James River, addition of observation platform/deck and gathering space, remove invasive species and maintain vegetation for visibility, expanded rock/boulders at water's edge
- B** Along southern side of Tredegar St. improve pedestrian walkway, widen and repave path, remove guardrail and shift path closer to river, maintain vegetation for visibility and remove invasive species, add bump-outs/observation decks for river viewing
- C** The intersection of Brown's Island Way and Tredegar St. needs clear pedestrian crossing markings, consider adding green infrastructure for stormwater management and for traffic calming, decrease overall amount of paved area to minimum needed for vehicular turning, add special paving/art in intersection to increase visibility
- D** Improve main pedestrian pathway to appropriate width for a shared use path and add directional markings and signage to improve safety

TREDEGAR STREET RECOMMENDATIONS

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Wide shared use path/boardwalk



Flexible-use hardscape spaces at street level

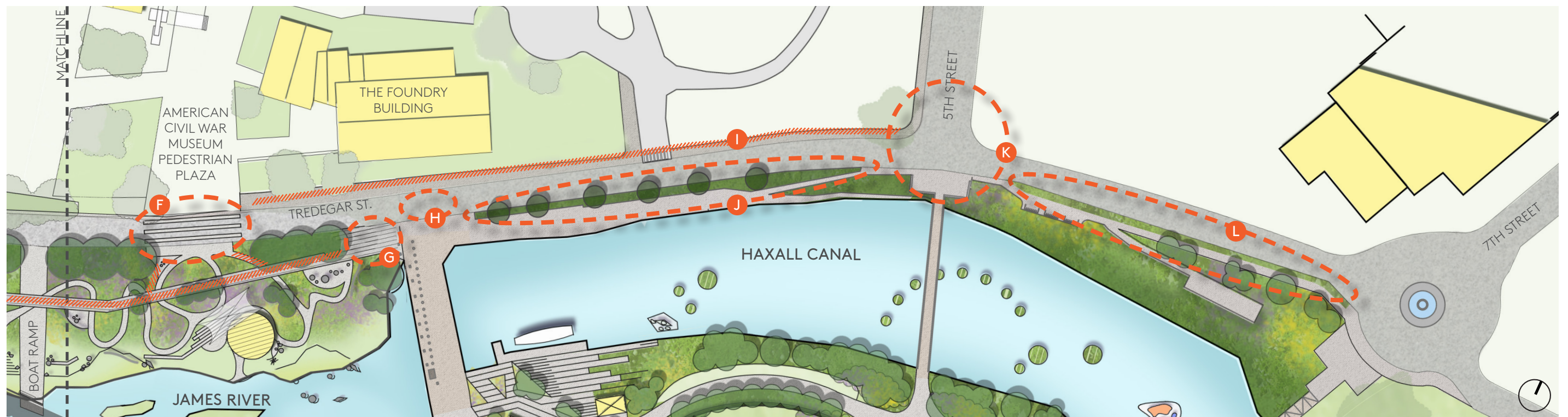


Green infrastructure and specialty paving in pedestrian zones



Use of art/murals to delineate pedestrian crossings and shared spaces

TREDEGAR EAST OF BOAT RAMP - NTS



F Create visual connection across Tredegar St. to the American Civil War Museum pedestrian plaza by adding unique paving material and signage, ensure paving is smooth or has designated crossing space for bike traffic on Tredegar St.

G Widen access point at neck of Haxall Headgate pedestrian bridge with additional pathway or boardwalk material

H Modify or remove cobblestone paving to create a smooth paved surface for bicycles to cross and encourage bike use of Tredegar St., this would also increase ease of use for pedestrians during events where Tredegar St. is closed to vehicles

I Create a sidewalk connection from 5th St. to the American Civil War Museum pedestrian plaza, incorporate plantings and green infrastructure to manage stormwater and for traffic calming, add street trees and pedestrian furnishings

J Modify pathway in this area to create a fully accessible sidewalk at the Tredegar St. level, eliminate narrow ramp and provide broad connection to the Halsey pedestrian bridge landing area

K The 5th St. and Tredegar St. intersections needs clear pedestrian and bicycle crossing markings, consider adding green infrastructure for stormwater management and for traffic calming, add special paving/art in intersection to increase visibility

L Modify path to create an accessible sidewalk at the Tredegar St. level, consider hardscape improvements that mirror the north side of the street, add bicycle racks and pedestrian furnishings, remove and replace guardrails with design that compliments bridge architecture

TREDEGAR STREET RECOMMENDATIONS

BROWN'S ISLAND | IMPROVEMENT PLAN | SEPTEMBER 2019

APPENDIX

FRONT PORCH	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 355,000
POTTERFIELD SIGNAGE RECONFIGURATION	1	LS	\$ 15,000	\$ 15,000	\$ 15,000
ART/NATURAL PLAY FEATURE	1	EA	\$ 25,000	\$ 25,000	\$ 25,000
DRINKING FOUNTAIN (BOTTLE FILLER, DOG BOWL)	1	EA	\$ 15,000	\$ 15,000	\$ 15,000
BATTEAU EXHIBIT IN CANAL (ASSUME DONATED BATTEAU)	1	LS	\$ 10,000	\$ 10,000	\$ 10,000
BIKE RACKS (10-BIKE)	2	EA	\$ 10,000	\$ 20,000	\$ 20,000
EMERGENCY CALL BOX	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
MISTING STATION	1	EA	\$ 15,000	\$ 15,000	\$ 15,000
TRELLIS SWINGS - WEST BALCONY	5	EA	\$ 20,000	\$ 100,000	\$ 100,000
TRELLIS SWINGS - EAST BALCONY	5	EA	\$ 20,000	\$ 100,000	\$ 100,000
PADDLING FEATURE IN RIVER	1	LS	\$ 40,000	\$ 40,000	\$ 40,000
WAYFINDING SIGNAGE	2	EA	\$ 2,500	\$ 5,000	\$ 5,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 850,000
POTTERFIELD WEST BALCONY	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
POTTERFIELD RAMPED ENTRY PLAZA AND TERRACES	1	LS	\$ 275,000	\$ 275,000	\$ 275,000
RELOCATING HEADMAN SCULPTURE TO CANAL	1	LS	\$ 75,000	\$ 75,000	\$ 75,000
HAXALL HEADGATE IMPROVEMENTS (FUNCTION, ART AND LIGHTING)	1	LS	\$ 100,000	\$ 100,000	\$ 100,000
ISLAND SQUARE INFRASTRUCTURE AND HARDSCAPE	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
III. LARGE PROJECTS (\$300,000 +)					\$ 3,500,000
POTTERFIELD EAST BALCONY	1	LS	\$ 500,000	\$ 500,000	\$ 500,000
CANAL TERRACES	1	LS	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000
ISLAND SQUARE RESTROOM BUILDING	1	LS	\$ 500,000	\$ 500,000	\$ 500,000
ISLAND SQUARE EXPANSION (THREE-FOUR SMALL BUILDINGS)	1	LS	\$ 1,500,000	\$ 1,500,000	\$ 1,500,000
AREA SUBTOTAL					\$ 4,705,000

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THE CLEARING	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 87,000
LABYRINTH / ART ON HELIPAD	1	LS	\$ 10,000	\$ 10,000	\$ 10,000
TREES AND PLANTING ADDITIONS AT EMANCIPATION MONUMENT	1	LS	\$ 20,000	\$ 20,000	\$ 20,000
MOVEABLE FURNITURE	32	EA	\$ 500	\$ 16,000	\$ 16,000
HAMMOCKS OR OTHER HANGING FURNITURE	16	EA	\$ 1,000	\$ 16,000	\$ 16,000
MISTING STATION	1	EA	\$ 15,000	\$ 15,000	\$ 15,000
KIT OF PARTS PLAYGROUND DIY	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 350,000
RETAINING WALL, LAWN REGRADING, SOD REPAIR	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
LARGE CANOPY TREES, SOIL IMPROVEMENTS, IRRIGATION	1	LS	\$ 75,000	\$ 75,000	\$ 75,000
LIGHTING IMPROVEMENTS	1	LS	\$ 75,000	\$ 75,000	\$ 75,000
III. LARGE PROJECTS (\$300,000 +)					
AREA SUBTOTAL					\$ 437,000

THE POINT	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 47,500
WAYFINDING SIGNAGE	1	EA	\$ 2,500	\$ 2,500	\$ 2,500
ART/NATURAL PLAY FEATURE	1	EA	\$ 15,000	\$ 15,000	\$ 15,000
TREES AND PLANTING ADDITIONS	1	LS	\$ 20,000	\$ 20,000	\$ 20,000
MOVEABLE FURNITURE	20	EA	\$ 500	\$ 10,000	\$ 10,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 850,000
SHADE SAILS OVER MAIN STAIR	3	EA	\$ 50,000	\$ 150,000	\$ 150,000
POP-JET WATER FEATURE AND PLAZA	1	LS	\$ 250,000	\$ 250,000	\$ 250,000
RECLADDING AND RENOVATION OF CENTRAL STAIR	1	LS	\$ 250,000	\$ 250,000	\$ 250,000
ADA PATH / ISLAND ACCESS DOWN FROM 7TH ST BRIDGE	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
III. LARGE PROJECTS (\$300,000 +)					
AREA SUBTOTAL					\$ 897,500

GREAT LAWN	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 150,000
SIGNATURE ART INSTALLATION	1	EA	\$ 50,000	\$ 50,000	\$ 50,000
ESPLANADE SITE FURNITURE	30	EA	\$ 750	\$ 22,500	\$ 22,500
PAW PAW PATCH	1	LS	\$ 10,000	\$ 10,000	\$ 10,000
WAYFINDING SIGNAGE	3	EA	\$ 2,500	\$ 7,500	\$ 7,500
MISTING STATIONS	4	EA	\$ 15,000	\$ 60,000	\$ 60,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 450,000
STEPPING STONE PATHWAYS ACROSS GREAT LAWN	2	LS	\$ 150,000	\$ 300,000	\$ 300,000
LIGHTING IMPROVEMENTS	1	LS	\$ 150,000	\$ 150,000	\$ 150,000
III. LARGE PROJECTS (\$300,000 +)					\$ 4,750,000
ESPLANADE PAVING, PLANTINGS, INFRASTRUCTURE	1	LS	\$ 300,000	\$ 300,000	\$ 300,000
RIVER TERRACES	1	LS	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000
RIVERFRONT CONNECTOR TRAIL/BOARDWALK	1	LS	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000
LOOP SHARED PATH/VEHICULAR ACCESS (AROUND ENTIRE LAWN, INCLUDES DEMO OF EXISTING PATH, AND ADDING LAYBY AREAS)	1	LS	\$ 750,000	\$ 750,000	\$ 750,000
AREA SUBTOTAL					\$ 5,350,000

BACK PORCH	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 140,000
ART/NATURAL PLAY FEATURE	1	EA	\$ 25,000	\$ 25,000	\$ 25,000
ART FEATURE UNDER BRIDGE	1	EA	\$ 25,000	\$ 25,000	\$ 25,000
BIKE RACK (10 BIKE)	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
CIRCULATOR PATH (BETWEEN GREEN WALL AND BUILDINGS)	1	LS	\$ 25,000	\$ 25,000	\$ 25,000
WAYFINDING SIGNAGE	2	EA	\$ 2,500	\$ 5,000	\$ 5,000
MISTING STATIONS	2	EA	\$ 10,000	\$ 20,000	\$ 20,000
PLANTING ADDITIONS	1	LS	\$ 20,000	\$ 20,000	\$ 20,000
EMERGENCY CALL BOX	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 475,000
GREEN WALL STRUCTURE (SCREEN WALL FOR SUBSTATION)	1	LS	\$ 150,000	\$ 150,000	\$ 150,000
PERMEABLE PAVER PLAZA	1	LS	\$ 250,000	\$ 250,000	\$ 250,000
LIGHTING IMPROVEMENTS	1	LS	\$ 75,000	\$ 75,000	\$ 75,000
III. LARGE PROJECTS (\$300,000 +)					\$ 2,300,000
PIPELINE TERRACES	1	LS	\$ 800,000	\$ 800,000	\$ 800,000
SUPPORT BUILDING COMPLEX (MODIFIED SHIPPING CONTAINERS)	1	LS	\$ 500,000	\$ 500,000	\$ 500,000
SUPPORT BUILDING COMPLEX (EXPANDED - CONDITIONED SPACE)	1	LS	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000
AREA SUBTOTAL					\$ 2,915,000

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HAXALL GARDENS	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 315,000
SEATWALL GARDEN SPACES	4	LS	\$ 50,000	\$ 200,000	\$ 200,000
FLOATING WETLAND EXHIBIT (MULTIPLE ISLANDS)	1	LS	\$ 40,000	\$ 40,000	\$ 40,000
ART FEATURE IN CANAL	2	EA	\$ 25,000	\$ 50,000	\$ 50,000
ART FEATURE UNDER BRIDGE	2	EA	\$ 25,000	\$ 50,000	\$ 50,000
WAYFINDING SIGNAGE	2	EA	\$ 2,500	\$ 5,000	\$ 5,000
ART/NATURAL PLAY FEATURE	2	EA	\$ 15,000	\$ 30,000	\$ 30,000
EMERGENCY CALL BOX	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
MONARCH WAYSTATION AND SLOPE PLANTINGS	1	LS	\$ 20,000	\$ 20,000	\$ 20,000
CANAL SAFETY FEATURES (LADDERS AND LOOP RINGS)	1	LS	\$ 30,000	\$ 30,000	\$ 30,000
PEDAL BOATS	10	EA	\$ 5,000	\$ 50,000	\$ 50,000
BIKE RACKS (10-BIKE) ON TREDEGAR ST.	3	EA	\$ 10,000	\$ 30,000	\$ 30,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 650,000
THE NEST	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
CANAL DOCK	1	LS	\$ 100,000	\$ 100,000	\$ 100,000
LIGHTING IMPROVEMENTS	1	LS	\$ 150,000	\$ 150,000	\$ 150,000
OVERALL PLANTING ADDITIONS, SLOPE PLANTINGS	1	LS	\$ 200,000	\$ 200,000	\$ 200,000
III. LARGE PROJECTS (\$300,000 +)					
AREA SUBTOTAL					\$ 965,000

STURGEON COVE	BUDGET				
	QTY	UNIT	UNIT COST	SUBTOTAL	TOTAL
I. SMALL PROJECTS (\$1,000 - \$50,000)					\$ 190,000
ART/NATURAL PLAY FEATURE	2	EA	\$ 20,000	\$ 40,000	\$ 40,000
BAYSCAPES GARDEN EXPANSION PLANTINGS AND PATHWAYS	1	LS	\$ 50,000	\$ 50,000	\$ 50,000
WAYFINDING SIGNAGE	2	EA	\$ 2,500	\$ 5,000	\$ 5,000
BOULDER GROUPINGS ALONG BEACH	1	LS	\$ 10,000	\$ 10,000	\$ 10,000
MISTING STATIONS	1	EA	\$ 15,000	\$ 15,000	\$ 15,000
WASH STATION/SHOWER AT LAUNCH (FOR KAYAKS, FEET, DOGS, ETC)	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
TREDEGAR ST. PEDESTRIAN PLAZA	1	LS	\$ 50,000	\$ 50,000	\$ 50,000
EMERGENCY CALL BOX	1	EA	\$ 10,000	\$ 10,000	\$ 10,000
II. MEDIUM PROJECTS (\$50,000 - \$300,000)					\$ 450,000
RIVER PAVILION	1	LS	\$ 275,000	\$ 275,000	\$ 275,000
RIVER PAVILION DECK	1	LS	\$ 100,000	\$ 100,000	\$ 100,000
SHARED USE CENTRAL PATH (INCLUDES HAXALL HEADGATE ENTRY MODIFICATION AT PINCH POINT)	1	LS	\$ 75,000	\$ 75,000	\$ 75,000
III. LARGE PROJECTS (\$300,000 +)					\$ 850,000
REBUILD BOAT LAUNCH	1	LS	\$ 350,000	\$ 350,000	\$ 350,000
TERRACES AT THE BOAT LAUNCH	1	LS	\$ 500,000	\$ 500,000	\$ 500,000
AREA SUBTOTAL					\$ 1,490,000

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BROWN'S ISLAND SURVEY CAD OVERLAY

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